

# ALTA / NSPS LAND TITLE SURVEY for: JDG VINELAND, LLC

**SURVEY NOTES:**

1. BEARINGS NAD COORDINATES SHOWN HEREON ARE BASED ON THE STATE PLANE COORDINATE SYSTEM EAST ZONE NORTH AMERICAN DATUM (NAD) OF 1983 WITH 2011 ADJUSTMENT AS ESTABLISHED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION MONUMENT STAMPED DSPNC 7999KBL06, HAVING A NORTHING OF 1640573.760, EASTING OF 604218.223 AND DERIVING A BEARING OF S00°11'01"E ALONG THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 19 SOUTH, RANGE 31 EAST.
2. UNDERGROUND UTILITIES HAVE BEEN LOCATED BY ABOVE GROUND VISIBLE EVIDENCE.
3. ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY'S (FEMA) FLOOD INSURANCE RATE MAP (FIRM) PANEL NO. 12127C0760K, DELTONA COMMUNITY NO. 120677, VOLUSIA COUNTY, FLORIDA, EFFECTIVE DATE OF 09/29/2017, THE PROPERTY DESCRIBED HEREON LIES WITHIN ZONE "X", "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".
4. WETLANDS WERE NOT NOTED ON THE SITE DURING THE COURSE OF THE SURVEY.
5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. THUS ENCUMBRANCES MAY EXIST THAT AFFECT THE SUBJECT PARCEL THAT ARE NOT SHOWN HEREON.
6. NORTH-SOUTH AND EAST-WEST TIES TO FOUND MONUMENTATION AND IMPROVEMENTS ARE BASED ON CARDINAL DIRECTION.
7. THE ACCURACY OF THE SURVEY MEASUREMENTS USED FOR THIS SURVEY MEETS OR EXCEEDS THE EXPECTED USE OF THE PROPERTY DESCRIBED HEREON. (COMMERCIAL/HIGH RISK) 1 FOOT IN 10,000 FEET.
8. THERE ARE ZERO PARKING SPACES IN THE SUBJECT PARCEL.
9. UNDERGROUND FOUNDATIONS IF PRESENT, WERE NOT LOCATED AS A PART OF THIS SURVEY.
10. SUBJECT PARCEL CONTAINS: 20.30 ACRES  
  
PER THE CITY OF DELTONA ZONING: (RPUD) RESIDENTIAL PLANNED URBAN DEVELOPMENT FUTURE LAND USE: UL (C)  
  
SETBACKS:  
MINIMUM LOT SIZE: 2,520 SQUARE FEET  
MINIMUM FRONT YARD = 20.00 FEET  
MINIMUM REAR YARD = 10.00 FEET  
MINIMUM SIDE YARD = N/A  
MINIMUM BETWEEN BUILDINGS = 30.00 FEET
11. EVIDENCE OF NEW CONSTRUCTION WAS OBSERVED DURING THE TIME THE LATEST FIELD WORK WAS PERFORMED ON THE SUBJECT PARCEL.
12. NO EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL WAS OBSERVED DURING THE TIME FIELD WORK WAS PERFORMED ON THE SUBJECT PARCEL.
13. THE ELECTRONIC SIGNATURE HEREON IS IN COMPLIANCE WITH FLORIDA ADMINISTRATIVE CODE (FAC) 5J-17.062(3).
14. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY WILLIAM D. DONLEY, PSM 5381, ON 05/22/2024, PER FAC 5J-17.062(2).
15. BEARINGS AND DISTANCES ALONG THE PERIMETER BOUNDARY ARE MEASURED UNLESS OTHERWISE NOTED.
16. ACCESS TO THE SUBJECT PARCEL IS VIA PEACH CREEK DRIVE, A PUBLIC RIGHT OF WAY MAINTAINED BY THE CITY OF DELTONA.
17. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS DERIVED FROM FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION MONUMENT STAMPED DSPNC 7999KBL06, HAVING AN ELEVATION OF 44.74 FEET AND NATIONAL GEODETIC SURVEY BENCHMARK FL DEP P 620, HAVING AN ELEVATION OF 52.30 FEET.

**SCHEDULE B-II EXCEPTIONS:**

**LEGAL DESCRIPTION**

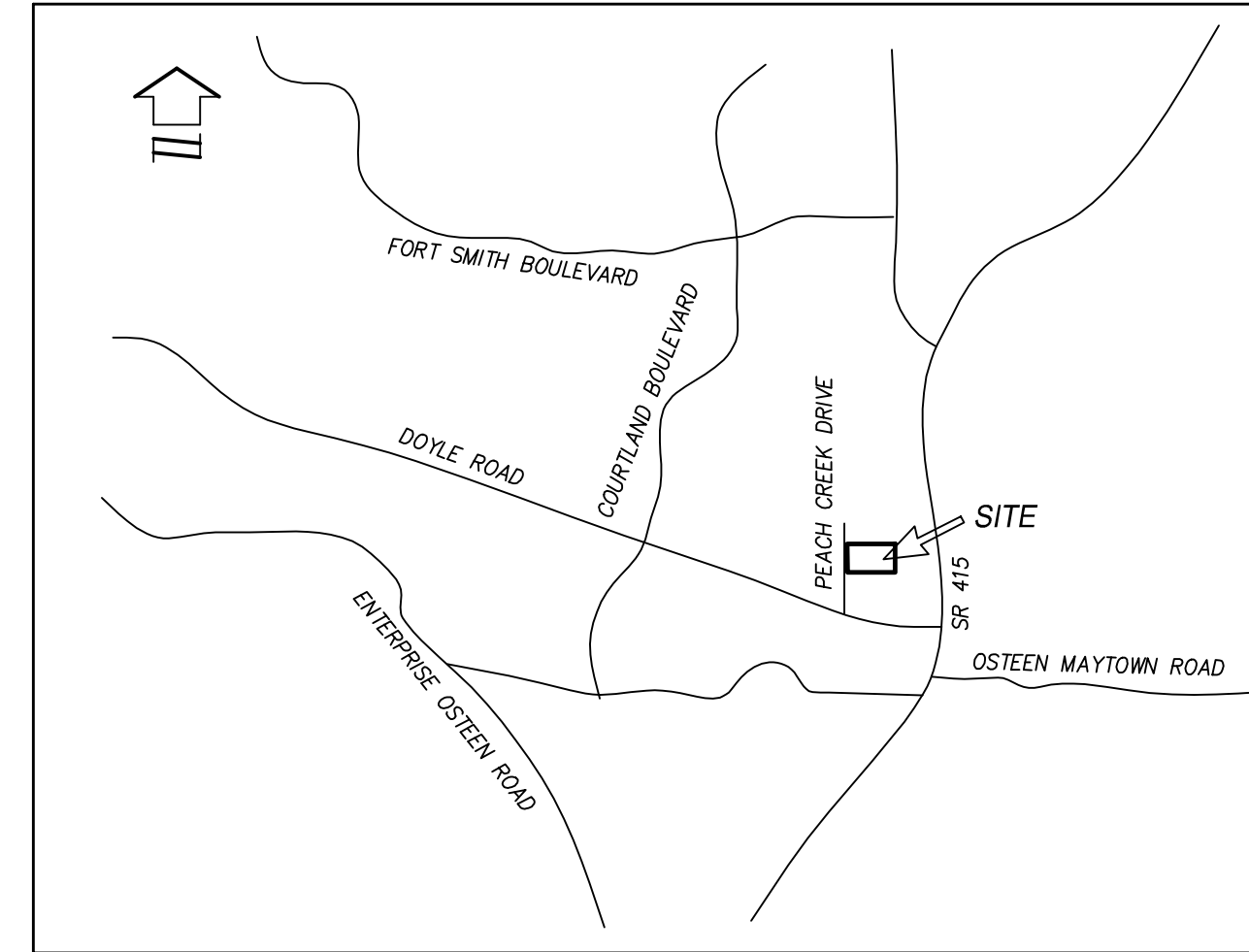
(PER OFFICIAL RECORDS BOOK 8546, PAGE 3208)  
A PORTION OF SECTION 12, TOWNSHIP 19 SOUTH, RANGE 31 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 12; THENCE RUN NORTH 89°37'54" WEST, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 12, A DISTANCE OF 1333.43 FEET TO THE INTERSECTION OF SAID NORTH LINE WITH THE NORTHERLY EXTENSION OF THE WEST LINE OF JOE SMITH PLACE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN MAP BOOK 20, PAGE 7 OF SAID PUBLIC RECORDS; THENCE RUN SOUTH 0°00'33" EAST, ALONG SAID WEST LINE, 1321.12 FEET TO THE SOUTHWEST CORNER OF LOT 4 OF SAID JOE SMITH PLACE AND THE POINT OF BEGINNING; THENCE NORTH 89°36'53" EAST, ALONG THE SOUTH LINE OF SAID JOE SMITH PLACE, 1337.96 FEET TO THE SOUTHEAST CORNER OF LOT 2 OF SAID JOE SMITH PLACE AND A POINT ON THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 12; THENCE RUN SOUTH 0°09'46" EAST, ALONG THE EAST LINE OF THE NORTHEAST CORNER OF SAID SECTION 12, A DISTANCE OF 660.18 FEET; THENCE SOUTH 89°37'38" WEST, 1340.15 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF PEACH CREEK DRIVE, VINELAND RESERVE PHASE 2, ACCORDING TO THE PLAT THEREOF AS RECORDED IN MAP BOOK 63 PAGES 16 THROUGH 22 OF SAID PUBLIC RECORDS; THENCE RUN NORTH 0°01'38" EAST, ALONG SAID EAST RIGHT-OF-WAY LINE, 660.44 FEET TO THE POINT OF BEGINNING. SAID LAND LYING IN VOLUSIA COUNTY, FLORIDA, AND CONTAINING 20.3 ACRES.

SAID LANDS AS SURVEYED BEING DESCRIBED AS FOLLOWS:  
A PORTION OF SECTION 12, TOWNSHIP 19 SOUTH, RANGE 31 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 12; THENCE RUN NORTH 89°37'12" WEST, ALONG THE NORTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 12, A DISTANCE OF 1333.77 FEET TO THE INTERSECTION OF SAID NORTH LINE WITH THE NORTHERLY EXTENSION OF THE WEST LINE OF JOE SMITH PLACE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN MAP BOOK 20, PAGE 7 OF SAID PUBLIC RECORDS AND THE WEST LINE OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 12; THENCE RUN SOUTH 0°00'07" WEST, ALONG SAID WEST LINE, 1320.43 FEET TO THE SOUTHWEST CORNER OF LOT 4 OF SAID JOE SMITH PLACE AND THE POINT OF BEGINNING; THENCE SOUTH 89°37'37" EAST, ALONG THE SOUTH LINE OF SAID JOE SMITH PLACE, 1338.05 FEET TO THE SOUTHEAST CORNER OF LOT 2 OF SAID JOE SMITH PLACE AND A POINT ON THE EAST LINE OF THE NORTHEAST 1/4 OF SAID SECTION 12; THENCE RUN SOUTH 0°11'01" EAST, ALONG THE EAST LINE OF THE NORTHEAST 1/4 OF SAID SECTION 12, A DISTANCE OF 660.15 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 12; THENCE NORTH 89°38'24" WEST, ALONG SAID NORTH LINE, A DISTANCE OF 1340.19 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF PEACH CREEK DRIVE, VINELAND RESERVE PHASE 2, ACCORDING TO THE PLAT THEREOF AS RECORDED IN MAP BOOK 63 PAGES 16 THROUGH 22 OF SAID PUBLIC RECORDS; THENCE RUN NORTH 0°00'07" EAST, ALONG SAID EAST RIGHT-OF-WAY LINE AND THE WEST LINE OF THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 12, A DISTANCE OF 660.44 FEET TO THE POINT OF BEGINNING.

CONTAINING: 20.30 ACRES.



VICINITY MAP  
(NOT TO SCALE)

**LEGEND AND ABBREVIATIONS:**

ALTA AMERICAN LAND TITLE ASSOCIATION	RLS REGISTERED LAND SURVEYOR
BOT BOTTOM	R/W RIGHT OF WAY
(C) CALCULATED	SEC SECTION
CB CHORD BEARING	SF SQUARE FEET
CCR CERTIFIED CORNER RECORD	TWP TOWNSHIP
CH CHORD LENGTH	Δ DELTA (CENTRAL ANGLE)
CLF CHAIN LINK FENCE	± MORE OR LESS
CL CENTERLINE	□ FOUND 4"x4" CONCRETE MONUMENT AS NOTED
CM CONCRETE MONUMENT	■ FOUND 4"x4" CONCRETE MONUMENT PRM LB 8501
CMP CORRUGATED METAL PIPE	○ FOUND NAIL & DISK AS NOTED
(D) DESCRIPTION	⊙ FOUND NAIL & DISK (LB 8501)
DIP DUCTILE IRON PIPE	● FOUND 5/8" IRON ROD & CAP LS4101
EL ELEVATION	● FOUND IRON ROD AS NOTED
ESMT EASEMENT	⊙ SET NAIL & DISK (LB 8501)
FDOT FLORIDA DEPARTMENT OF TRANSPORTATION	⊙ SET 5/8" IRON ROD & CAP (LB 8501)
FDEP FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION	⊙ CONTROL/BENCHMARK AS DESCRIBED
FEMA FEDERAL EMERGENCY MANAGEMENT AGENCY	⊙ CURB INLET GRATE
FND FOUND	⊙ CATCH BASIN
GR GROUND	⊙ STORM MANHOLE
ID IDENTIFICATION	⊙ SANITARY MANHOLE
INV INVERT	⊙ SANITARY CLEANOUT
IP IRON PIPE	⊙ ELECTRIC MANHOLE
IR IRON ROD	⊙ ELECTRIC METER
IRC IRON ROD AND CAP	⊙ ELECTRIC RISER BOX
IRV IRRIGATION CONTROL VALVE	⊙ CABLE TELEVISION RISER BOX
L ARC LENGTH	⊙ TELEPHONE RISER BOX
LB LICENSED BUSINESS	⊙ IRRIGATION CONTROL VALVE
LS LAND SURVEYOR	⊙ WATER METER
(M) MEASURED	⊙ WATER VALVE
MB MAP BOOK	⊙ FIRE HYDRANT
NAVD NORTH AMERICAN VERTICAL DATUM	⊙ CONCRETE UTILITY POLE
NO NUMBER	⊙ METAL UTILITY POLE
(NR) NOT RADIAL	⊙ WOOD UTILITY POLE
NSPS NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS	⊙ UTILITY POLE GUY ANCHOR
OR OFFICIAL RECORDS BOOK	⊙ LIGHT POLE
(P) PLAT	⊙ SIGN
PB PLAT BOOK	— LINE BREAK
PC POINT OF CURVATURE	—x— FENCE LINE AS NOTED
PCC POINT OF COMPOUND CURVATURE	—o— OVERHEAD UTILITY LINE
PG(S) PAGE(S)	—1/2— TOP OF BANK
P.O.C. POINT OF COMMENCEMENT	—1/2— TOE OF SLOPE
P.O.B. POINT OF BEGINNING	—100— EXISTING CONTOUR
PNT POINT OF NON-TANGENT	—s— SANITARY SEWER LINE
PRC POINT OF REVERSE CURVATURE	—d— STORM DRAINAGE LINE
PVC POLYVINYL CHLORIDE	—w— WATER LINE
(R) RADIAL	
R RADIUS	
RCP REINFORCED CONCRETE PIPE	

**SURVEYOR'S CERTIFICATE:**

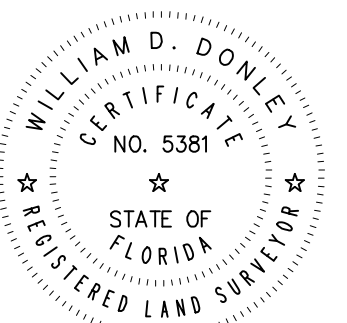
TO: D.R. HORTON, INC., A DELAWARE CORPORATION; JDG VINELAND, LLC, A FLORIDA LIMITED LIABILITY COMPANY; SHUTTS & BOWEN LLP; FIDELITY NATIONAL TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(c), 7(c), 7(b)(1), 8, 9, 11(b), 13, 14, 16, 17, AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 05/17/2024; DATE OF PLAT OR MAP: 05/22/2024

I FURTHER CERTIFY THIS SURVEY MEETS THE APPLICABLE "STANDARDS OF PRACTICE" AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN RULE 5J17.050-.052, FLORIDA ADMINISTRATIVE CODE.

WILLIAM D. DONLEY  
FLORIDA LICENSED SURVEYOR & MAPPER NO. LS 5381

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.



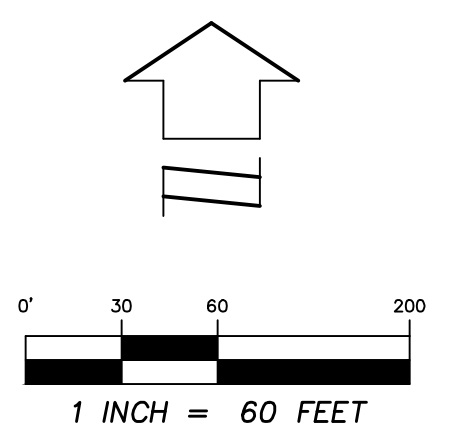
REVISIONS				
FB/PG	DATE	DRAWN	REVISION	CHKD

**DONLEY CONSULTING GROUP, LLC**  
  
210 PARKTOWNE BOULEVARD, SUITE 1  
EDGEWATER, FLORIDA 32132  
PHONE: 407.947.4552  
WWW.DONLEYCONSULTING.COM  
CERTIFICATE OF AUTHORIZATION NO. LB 8501

**VINELAND RESERVE PHASE I**  
SECTION 12, TOWNSHIP 19  
SOUTH, RANGE 31 EAST  
  
CITY OF DELTONA, VOLUSIA COUNTY, FLORIDA

BOUNDARY SURVEY for:  
  
**JDG VINELAND, LLC**

FB/PG	FIELD DATE	PROJECT NO.
VOLCO FB 2	05/17/2024	112.003
DRAWING DATE	BY	APPROVED
05/22/2024	WDD	WDD
SCALE		1 OF 2
1"=60'		2



REVISIONS				
FB/PG	DATE	DRAWN	REVISION	OKD

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**VINELAND RESERVE PHASE I**  
 SECTION 12, TOWNSHIP 19  
 SOUTH, RANGE 31 EAST  
 CITY OF DELTONA, VOLUSIA COUNTY, FLORIDA

**BOUNDARY SURVEY for:**  
**JDG VINELAND, LLC**

FB/PG	FIELD DATE	PROJECT NO.	2 OF 2
VOLCO FB 2	05/17/2024	112.003	
DRAWING DATE	BY	APPROVED	SCALE
05/22/2024	WDD	WDD	1"=60'