

**GENERAL NOTES:**

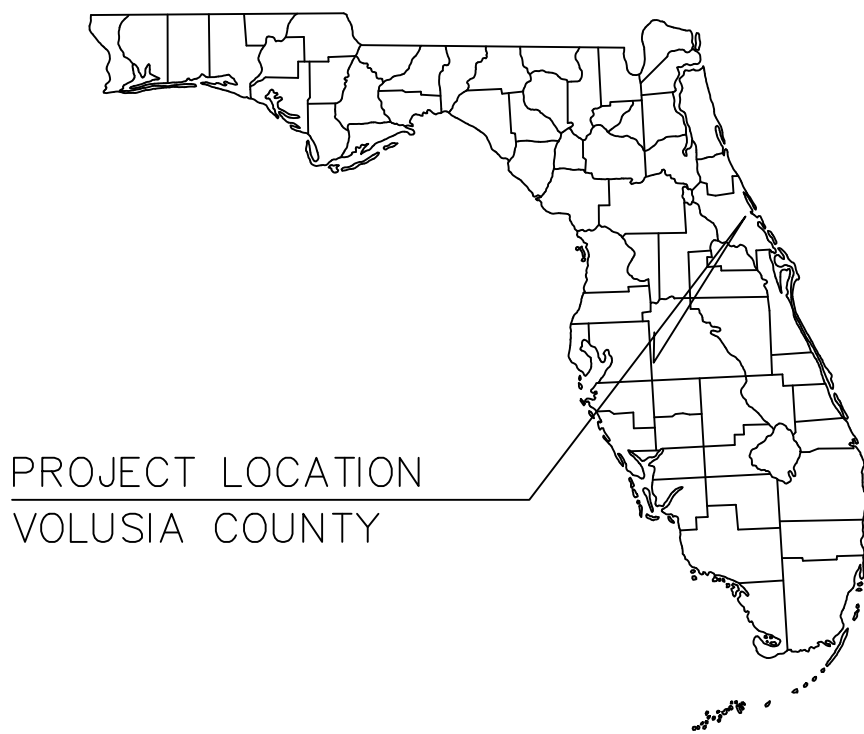
- BOUNDARY AND TOPOGRAPHIC SURVEYS PERFORMED BY BLACKWELL & ASSOCIATES SURVEY DATED 10-11-2023
- AREAS WITHIN THE PUBLIC RIGHT-OF-WAY AND OFF SITE WHICH HAVE BEEN DISTURBED BY CONSTRUCTION SHALL BE CLEARED OF ALL DEBRIS, REGRADED AND SOODED WITH BAHIA SO AS TO RESTORE THE AREA TO A NATURAL STABILIZED AND PLANTED STATE.
- ALL MATERIALS (PIPES, STRUCTURES, ETC.) AND ALL CONSTRUCTION METHODS IN AND OUT OF THE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS & FDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE CONSTRUCTION.
- SIDEWALK SPECIFICATIONS: 4" FDOT CLASS 1 PORTLAND CEMENT CONCRETE (2500 PSI @ 28 DAYS) W/ 6" CLEAN STABILIZED SAND SUBGRADE (MIN. 95% COMPACTION PER AASHTO T-99) 6" THICK @ DRIVEWAYS (3000 PSI @ 28 DAYS) W/ 12" SUBGRADE IN 6" LIFTS. EXPANSION AND CONTRACTION JOINTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FDOT DESIGN STANDARDS.
- PAVEMENT SPECIFICATIONS (AREAS NOT USED BY LARGE VEHICLES, CAR PARKING AREA ETC.): (ASPHALT / CONCRETE) ASPHALT: 1 1/2" TYPE SP 9.5 ASPHALTIC CONCRETE STRUCTURE COURSE (MIN. 98% COMPACTION, NUCLEAR DENSITY BACK SCATTER METHOD), 6" LIMEROCK BASE (LBR 100 MIN. 98% COMPACTION, AASHTO T-180) 12" STABILIZED SUBGRADE (LBR 40 MIN. 98% COMPACTION, AASHTO T-180)
- PAVEMENT SPECIFICATIONS (ALL OTHER AREAS): (ASPHALT / CONCRETE) ASPHALT: 2" TYPE SP 9.5 ASPHALTIC CONCRETE STRUCTURE COURSE (MIN. 98% COMPACTION, NUCLEAR DENSITY BACK SCATTER METHOD), 10" LIMEROCK BASE (LBR 100 MIN. 98% COMPACTION, AASHTO T-180) 12" STABILIZED SUBGRADE (LBR 40 MIN. 98% COMPACTION, AASHTO T-180)
- CONTRACTOR SHALL PROVIDE VERTICAL AND HORIZONTAL "AS-BUILT" INFORMATION CONTAINING AT A MINIMUM: BUILDING LOCATION, TYPICAL PARKING STALL WIDTHS AND LENGTHS, PAVEMENT AND SIDEWALK WIDTHS, CROSS SLOPES AND DRAINAGE DIRECTIONS, BUILDING FINISHED FLOOR ELEVATION, PAVEMENT, SIDEWALK AND STORMWATER AREA SPOT GRADES, UTILITY LOCATIONS AND TOP OF PIPE GRADES. ADDITIONAL INFORMATION MAY BE NEEDED FOR CITY. A CERTIFICATION TO THIS EFFECT SIGNED AND SEALED SHALL GO TO THE OWNER (OWNERS BANK IF REQUIRED), CITY AND ENGINEER.
- ALL TRAFFIC CONTROL DEVICES, INCLUDING SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- PAVEMENT SHALL BE PAINT STRIPED AND WHEEL STOPPED AS SHOWN. WHERE NOTED, THERMOPLASTIC WITH GLASS SPHERES STRIPING SHALL BE USED. RIGHT-OF-WAY PAINT STRIPING SHALL BE THERMOPLASTIC WITH GLASS SPHERES IN ACCORDANCE WITH F.D.O.T. DESIGN STANDARDS. RIGHT-OF-WAY REFLECTIVE PAVEMENT MARKERS (RPM'S) SHALL BE INSTALLED (WHEN REQUIRED) IN ACCORDANCE WITH F.D.O.T. DESIGN STANDARDS.
- CONTRACTOR SHALL FOLLOW REQUIRED EROSION AND SEDIMENT CONTROL PRACTICES AND INCLUDE AN EROSION CONTROL PLAN FOR REVIEW AND APPROVAL BY THE CITY PRIOR TO CONSTRUCTION. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE CITY'S SITE CLEARING AND GRADING STANDARD DETAILS
- CONTRACTOR WILL FOLLOW ALL OF THE CITY'S REQUIRED WASTE MANAGEMENT PRACTICES. ALL CONSTRUCTION, RENOVATION, AND DEMOLITION SITES ARE TO BE KEPT CLEAN AND FREE OF REFUSE, DEBRIS, AND LITTER DURING THE CONSTRUCTION, RENOVATION, OR DEMOLITIONS PROCESS. A CERTIFICATE OF OCCUPANCY FOR A NEWLY CONSTRUCTED OR RENOVATED BUILDING SHALL NOT BE ISSUED UNTIL ALL REFUSE AND LITTER CAUSED BY THE CONSTRUCTION OR REMODELING IS REMOVED FROM THE SITE.
- ALL DEVELOPMENT PLANS SHALL BE CONSISTENT WITH THE CITY OF DELTONA LAND DEVELOPMENT CODE.
- A MANDATORY PRE CONSTRUCTION CONFERENCE WITH THE CITY OF DELTONA MUST BE CONDUCTED PRIOR TO ANY SITE DISTURBANCE OR CONSTRUCTION. OWNER, CONTRACTOR AND ENGINEER MUST ATTEND.

# CONCEPTUAL PLAN FOR ASTUTE CHILDREN'S ACADEMY

3026 HOWLAND BLVD.,  
DELTONA FL 32725  
APRIL 2024

INDEX OF SHEETS	
SHT#	DESCRIPTION
C01	COVER
C02	CONCEPTUAL SITE PLAN

DELTONA  
VOLUSIA COUNTY, FLORIDA



PROJECT LOCATION  
VOLUSIA COUNTY

48 HOURS BEFORE YOU DIG  
CALL SUNSHINE



**GENERAL NOTES:**

- SITE ADDRESS: 3026 HOWLAND BLVD., DELTONA 32725
- TAX PARCEL NUMBER: 81080000031
- SECTION 8, TOWNSHIP 18 SOUTH, RANGE 31 EAST.
- FLOOD ZONE: PARCEL LOCATED IN FEMA FLOOD ZONE DESIGNATION "X" FROM FEMA FLOOD INSURANCE RATE MAPS VOLUSIA COUNTY, FL. MAP #12127C0630K, DATED SEPT. 29, 2017.
- ALL UTILITIES SHALL BE LOCATED UNDERGROUND.
- CONTRACTOR SHALL ATTEND A MANDATORY PRE-CONSTRUCTION MEETING WITH THE CITY STAFF PRIOR TO ANY DISTURBANCE OF THE PROPERTY.

**SITE DATA:**

OWNER: VICTORIA MULANDI LLC.		ADDRESS: 345 HAMMOCK OAK CIR., DEBARY FL 32713	
DESCRIPTION	EXISTING	PROPOSED	
ZONING:	C-2 (GENERAL COMMERCIAL)	C-2 (GENERAL COMMERCIAL)	
LAND USE:	VACANT	DAYCARE CENTER	
FUTURE LAND USE:	COMMERCIAL	(CONDITIONAL USE TO BE REQUESTED)	
FLOOD ZONE:	X	COMMERCIAL	
FIRM PANEL:	12127C0630K	X	
SETBACK REQUIREMENTS:	REQUIRED	PROVIDED	
MIN. FRONT YARD:	35'	35'	
MIN. REAR YARD:	35'	35'	
MIN. SIDE YARD:	10'	10'	
LANDSCAPE BUFFERS:		20' (VARIANCE TO BE REQUESTED)	
NORTH:	30'	10'	
EAST:	10'	25'	
SOUTH:	25'	10'	
WEST:	10'	10'	
<b>EXISTING PROJECT AREA COVERAGE</b>			
	AREA (SF)	AREA (AC)	LOT COVERAGE (%)
BUILDING SLAB (TO BE REMOVED)	3133	0.07	5.22%
SIDEWALK	0	0.00	0.00%
CONCRETE DRIVE (TO BE REMOVED)	550	0.01	0.92%
TOTAL IMPERVIOUS	3683	0.08	6.13%
<b>PERVIOUS</b>			
LANDSCAPE / NATURAL	56392	1.29	93.87%
TOTAL AREA	60075	1.38	100.00%
<b>PROPOSED PROJECT AREA COVERAGE</b>			
	AREA (SF)	AREA (AC)	LOT COVERAGE (%)
BUILDINGS	10962	0.25	18.25%
SIDEWALK	1880	0.04	3.13%
PAVEMENT	19936	0.46	33.19%
TOTAL IMPERVIOUS	32778	0.75	54.56%
<b>PERVIOUS</b>			
LANDSCAPE / NATURAL	27297	0.63	45.44%
TOTAL AREA	60075	1.38	100.00%

**LEGAL DESCRIPTION:**

LEGAL DESCRIPTION:  
BEGIN AT THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 SECTION 8, TOWNSHIP 18 SOUTH, RANGE 31 EAST, VOLUSIA COUNTY, FLORIDA; THENCE RUN N 88° 46'08" E., 2894.68 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING N 88° 46'08" E., 200 FEET; THENCE S 01° 16'00" E., 297.61 FEET TO THE NORTH RIGHT OF WAY LINE OF STATE ROAD No. 444; THENCE S 88°44'00" W., ALONG SAID RIGHT OF WAY LINE 200 FEET; THENCE N. 01° 16'00" W., 297.73 FEET TO THE POINT OF BEGINNING. ALSO KNOWN AS PARCEL 13

**PARKING INFORMATION:**

PARKING REQUIRED: C-2 (GENERAL COMMERCIAL) ZONING DISTRICT  
USE CATEGORY: COMMERCIAL  
USE TYPE: DAYCARE FACILITY  
WHEN LOADING AND ACCESS AREA IS PROVIDED, THE MINIMUM PARKING REQUIREMENT SHALL BE 1 SPACE/10 CHILDREN AT MAXIMUM OCCUPANCY, PLUS 1 SPACE/STATE REQUIRED STAFF PERSON.  
1 SPACE PER STAFF MEMBER = 1 x 22 STAFF MEMBER = 22 SPACES REQUIRED  
1 SPACE PER 10 CHILDREN AT MAX. CAPACITY = 150 CHILDREN x 1 / 10 = 15 SPACES  
TOTAL PARKING SPACES REQUIRED = 37 SPACES  
PARKING PROVIDED: C-2 (GENERAL COMMERCIAL) ZONING DISTRICT  
37 SPACES INCLUDING 2 HANDICAP SPACES

**PROJECT OBJECTIVE:**

THE PROPOSED PROJECT CONSISTS OF THE CONSTRUCTION OF A DAY CARE FACILITY AND ALL ASSOCIATED SITE UTILITIES AND AMENITIES.

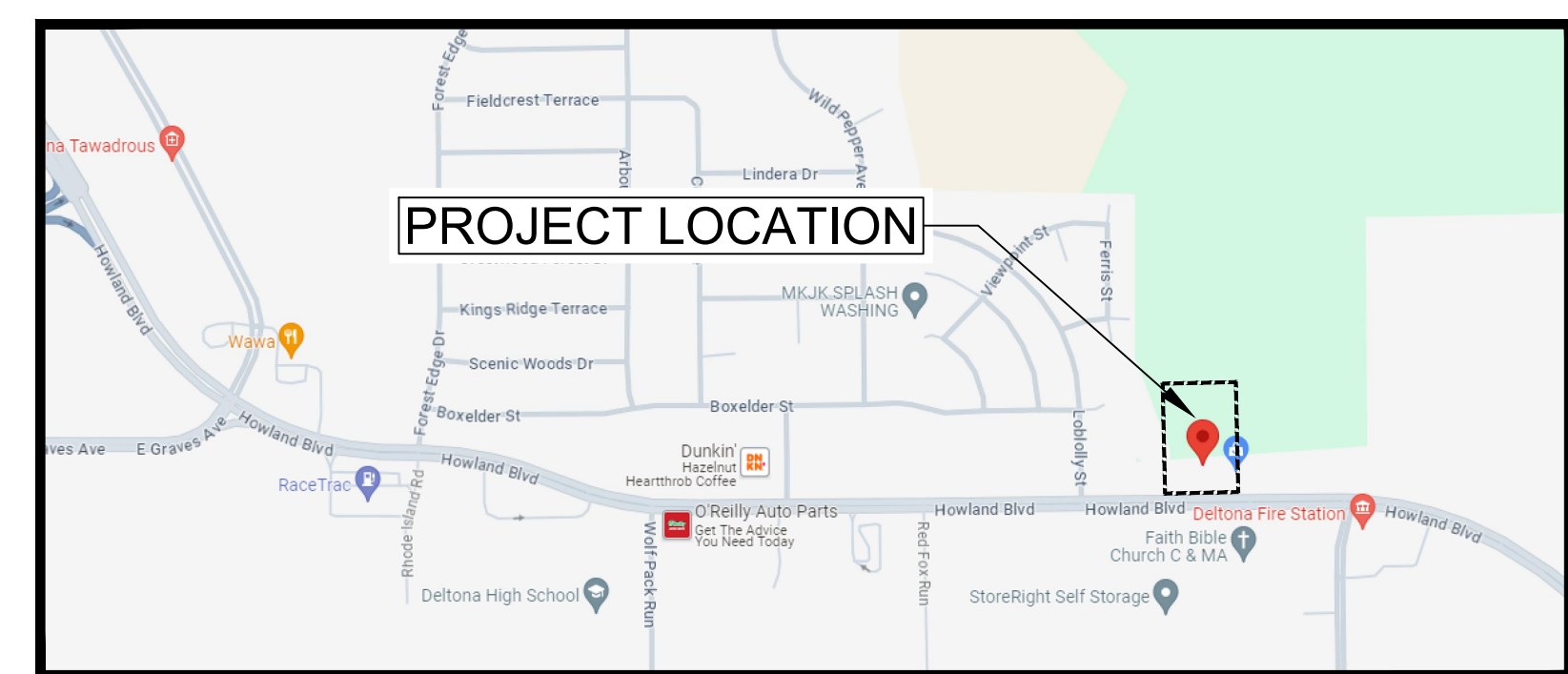
**CONTACT INFORMATION:**

OWNER: VICTORIA MULANDI LLC. 345 HAMMOCK OAK CIR. DEBARY FL 32713	WATER/SEWER: VOLUSIA COUNTY UTILITIES DEPT 123 W. INDIANA AVE. DELAND, FL 32720 386-822-8465 EMERGENCY 800-255-2069
CIVIL ENGINEER: CHRISTOPHER CASEY, PE ZAHN ENGINEERING, INC. 150 S. PALMETTO AVE. DAYTONA BEACH, FL 32114 TEL: (386) 252-0020 FAX: (386) 252-6050 info@zahneng.com	CABLE: SPECTRUM 1475 S NOVA RD DAYTONA BEACH, FL 32114 855-243-8892 ELECTRIC: DUKE ENERGY 400 N. SPRING GARDEN AVE. DELAND, FL 32720 800-700-8744
SURVEYOR: BLACKWELL & ASSOCIATES LAND SURVEYING, INC. 995 W. VOLUSIA AVE, DELAND, FL 32720 386-734-8050	TELEPHONE: AT&T 1808 W INTERNATIONAL SPEEDWAY BLVD SUITE 801, DAYTONA BEACH, FL 32114 386-252-9000

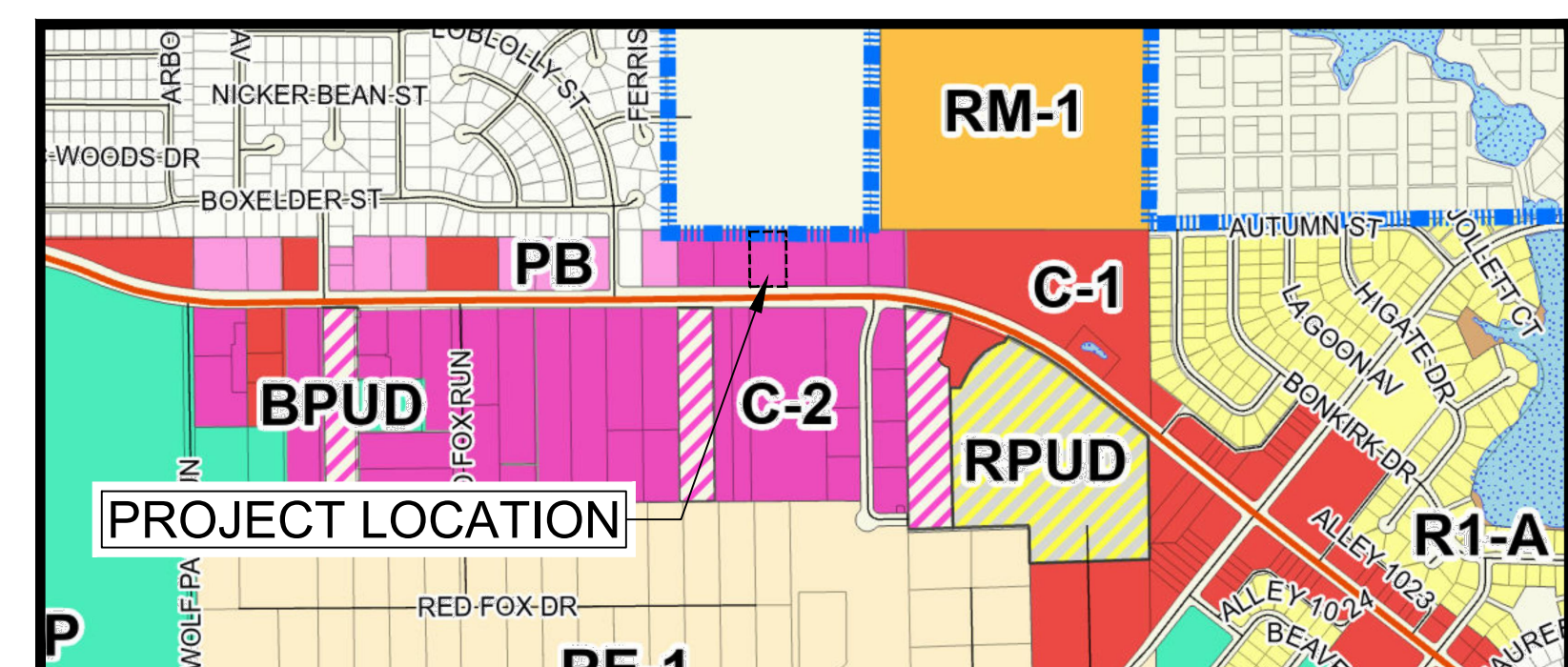
**REVISIONS:**

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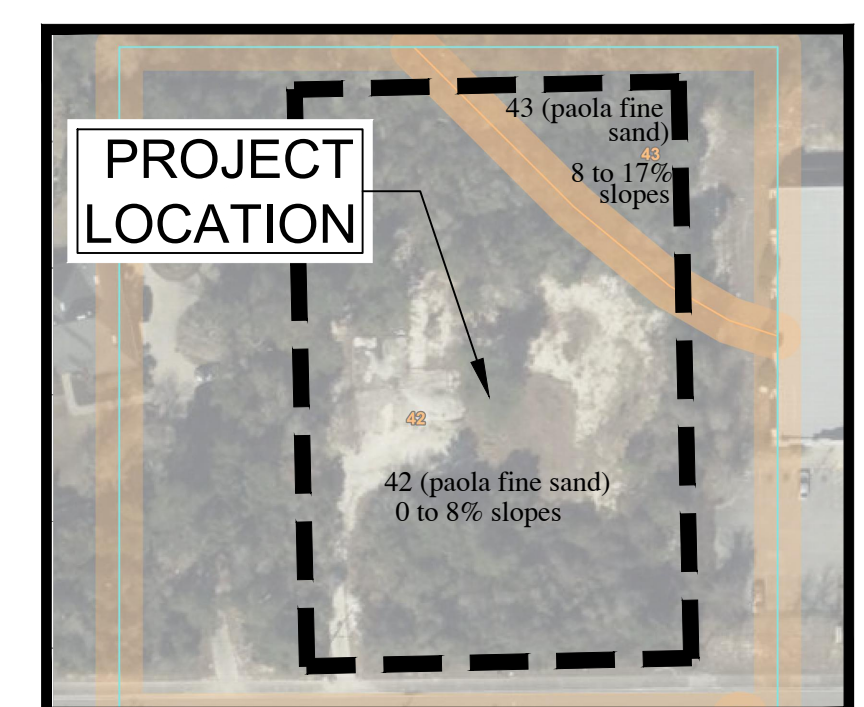
**VICINITY MAP:**



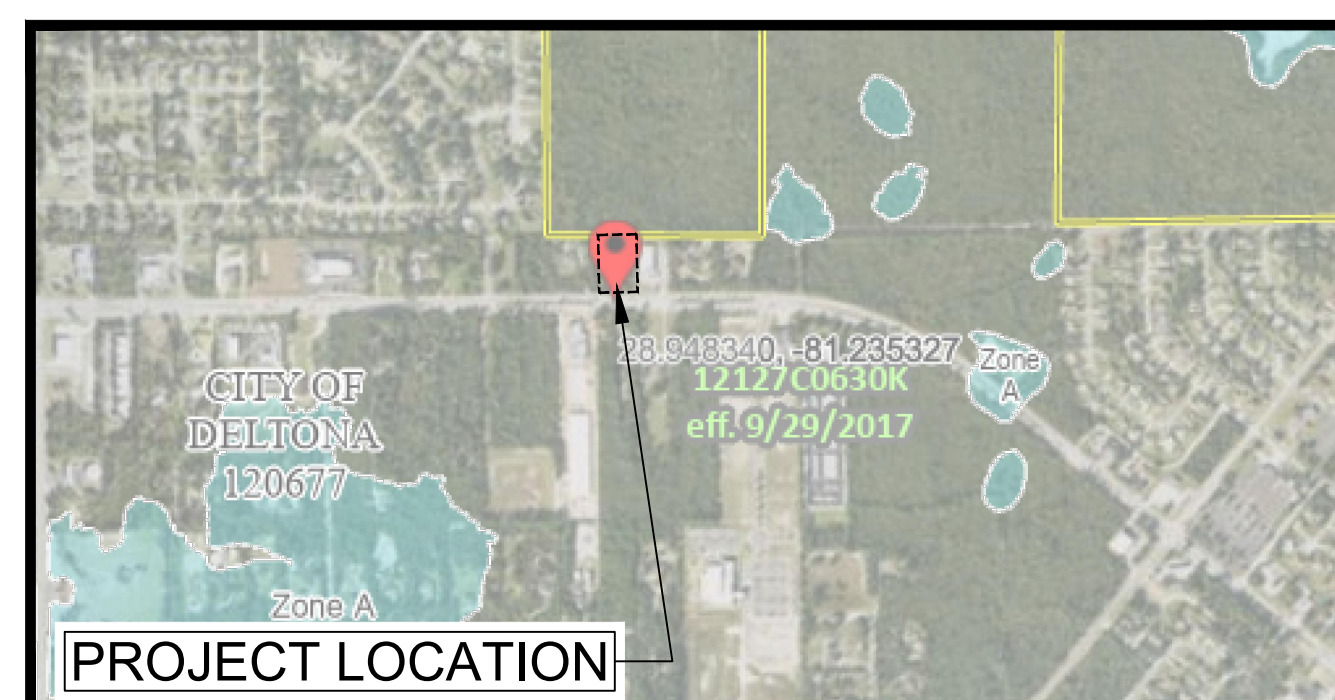
**ZONING MAP:**



**SOILS MAP:**



**FLOOD / TOPO MAP:**



**Zahn Engineering, Inc.**

Civil Engineering • Land Planning • Permitting  
150 South Palmetto Avenue, Suite 201, Daytona Beach, Florida 32114  
Ph: (386) 252-0020 - Fax: (386) 252-6050  
www.zahneng.com

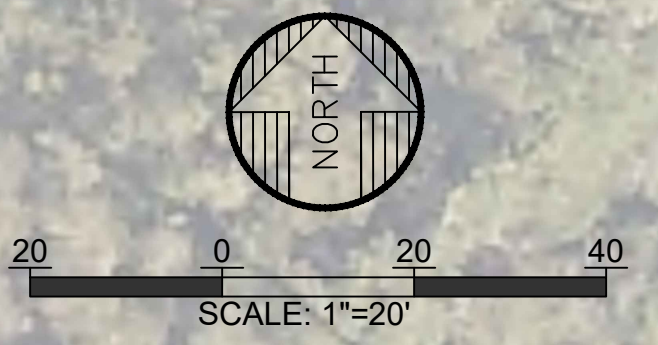
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EB-0005290  
FL P.E. 19083&82269&95229

DAYCARE FACILITY

PROJECT NUMBER

343



NO.	DATE	APPR.	REVISION DESCRIPTION

**Zahn Engineering**  
 Civil Engineering • Land Planning • Permitting  
 150 S Palmetto Ave #201, Daytona Beach, FL 32114  
 Ph: (386) 252-0020

DESIGNED: CM  
 DRAWN: ANU  
 CHECKED: CM  
 DATE: 02-13-24  
 FILE: 343

**CONCEPTUAL SITE PLAN**  
 3026 HOWLAND BLVD.  
 DELTONA, FL 32725  
 VOLUSIA COUNTY, FL

PROJECT NUMBER  
**343**

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