

SITE PLAN KEYNOTES	
1	PROP. TYPE 1 BOLLARD (SEE ARCHITECTURAL PLANS FOR DETAILS)
2	PROP. PLASTIC WHEEL STOPS (SEE SHEET C-306 FOR DETAILS)
3	PROP. TENANT APPROVED 8' PERIMETER FENCE (SEE SHEET C-305 FOR DETAILS)
4	PROP. REGULAR PARKING (9'X20')
5	PROP. TENANT APPROVED 20' WIDE BI-PARTING GATE WITH KNOX BOX FOR EMERGENCY ACCESS
GENERAL SITE NOTES	
1. PERMANENT SITE SIGNAGE WILL BE IN ACCORDANCE WITH THE CITY OF DELTONA. REGULATORY SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD (2009 ED.). 2. BUILDING DIMENSIONS FOR REFERENCE ONLY. PLEASE REFER TO ARCHITECTURAL PLANS FOR EXACT MEASUREMENTS 3. AREAS AROUND PAVEMENTS SHOULD BE FIELD VERIFIED TO ENSURE IT IS POSSIBLE TO MATCH THE EXISTING ELEVATIONS AND DRAINAGE PATTERNS NEAR THE PROPOSED WORK. 4. ALL ASSOCIATE WHEEL STOPS ARE TO BE 2' FROM BACK OF STALL TO FRONT OF WHEEL STOP. ALL TRAILER WHEEL STOPS ARE TO BE 6' FROM BACK OF STALL TO FRONT OF WHEEL STOP. 5. CONTRACTOR IS RESPONSIBLE FOR SELECTION AND INSTALLATION OF ALL TENANT APPROVED SECURITY APPARATUSES. APPARATUSES INCLUDE BUT ARE NOT LIMITED TO GATES, FENCES, CARD READERS, AND LOCKS. 6. CONTRACTOR SHALL COORDINATE ALL SECURITY APPARATUSES WITH TENANT PRIOR TO CONSTRUCTION, PER TENANT'S SPECIFICATIONS. 7. ALL ACCESSIBLE ROUTES, GENERAL SITE AND BUILDING ELEMENTS, RAMPS, CURB RAMPS, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION. 8. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA AND FHA) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES. IN NO CASE SHALL AN ACCESSIBLE RAMP SLOPE EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPE EXCEED 2.0% IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5.0%. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0% SLOPES IN ANY DIRECTION.	

LOCATION	SECTION 7, TOWNSHIP 18S, RANGE 31E
ADDRESS	N. NORMANDY BLVD, DELTONA, FL 32725
TOTAL PROPERTY AREA	128.40 AC
LOT 1/PHASE 1 PROPERTY AREA	56.12 AC
LOT 2/PHASE 2 PROPERTY AREA	72.28 AC
PROPOSED USE	HIGH CUBE WAREHOUSE
CONSTRUCTION TYPE	TYPE IIB
REQUIRED PARKING	0.35 SPACES/1,000 SF GFA = 345 SPACES
PROPOSED PARKING	383 SPACES (EXISTING--WEST SIDE OF BUILDING)
	115 SPACES (EXISTING--EAST SIDE OF BUILDING)
	103 SPACES (PROPOSED-- NORTH SIDE OF BUILDING)
TOTAL:	601 SPACES
REQUIRED STALL SIZE	9' X 19'
EXISTING STALL SIZE	9' X 19'
REQUIRED HANDICAP PARKING	2 PERCENT OF TOTAL = 13 SPACES
EXISTING HANDICAP PARKING	11 SPACES
REQUIRED F.A.R.	0.4
EXISTING F.A.R.	0.4
MAX ISR ALLOWED FOR THE I-4 LOGISTICS BUSINESS PARK	85.74 ACRES (70%)*
LOT 1 PROPOSED DEVELOPMENT PROPOSED ISR	42.35 ACRES*
FUTURE DEVELOPMENT PROPOSED ISR	43.39 ACRES*
*DOES NOT INCLUDE PROPOSED RIGHT-OF-WAY AREA	
MAX. BUILDING HEIGHT	70 FT
EXIST. BUILDING HEIGHT	51 FT*
*IN ADDITION TO THE PROPOSED BUILDING HEIGHT, ANY ROOF MECHANICALS OR OTHER PROJECTIONS INSTALLED SHALL NOT EXCEED THE 70' MAX. BUILDING HEIGHT.	
<u>SETBACKS</u>	
FRONT (N. NORMANDY BLVD)	50 FT
SIDE	15 FT
REAR	20 FT
ABUTTING THE RHODE ISLAND AVE.	30 FT

CONSULTANTS

Kimley»Horn

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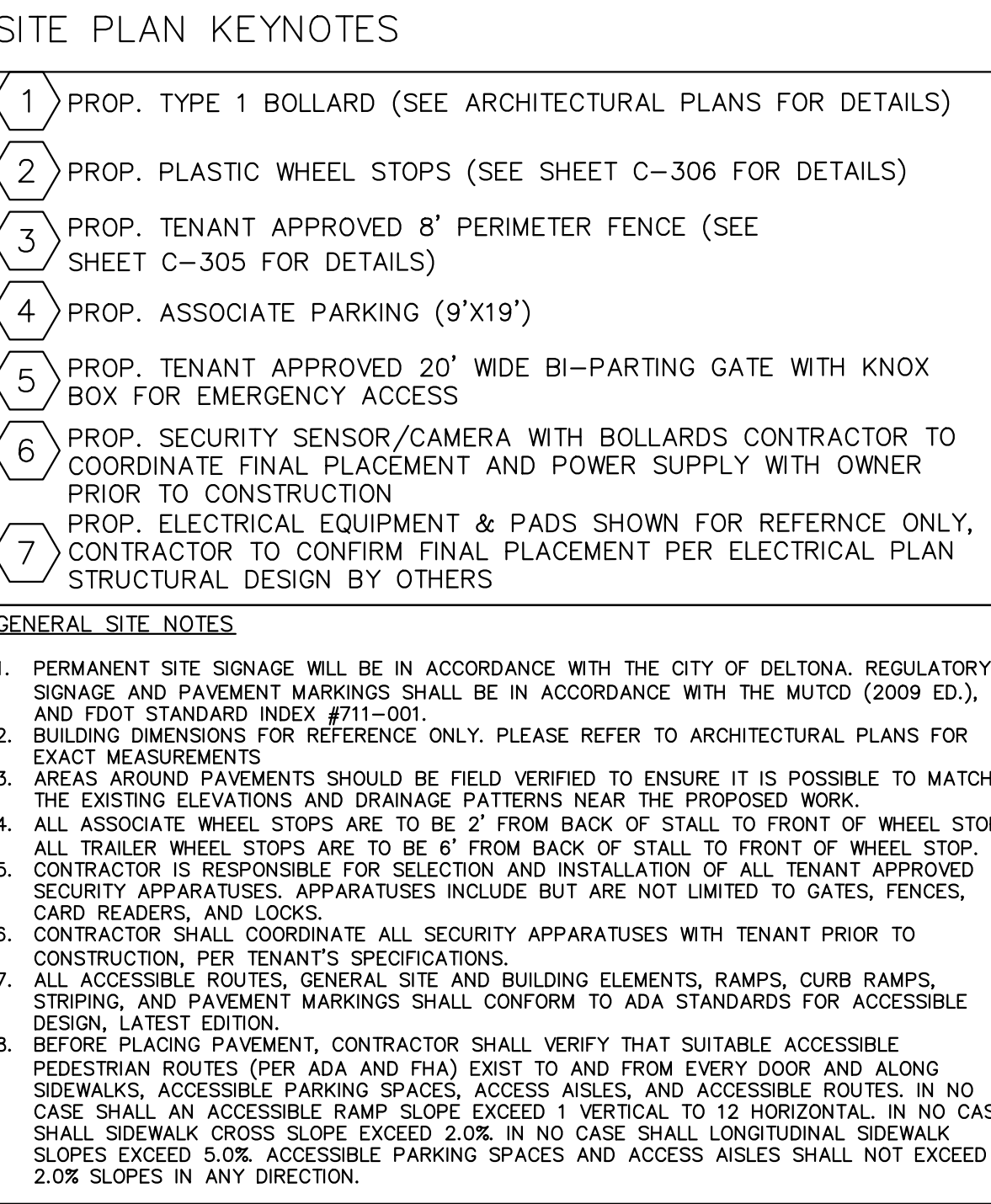
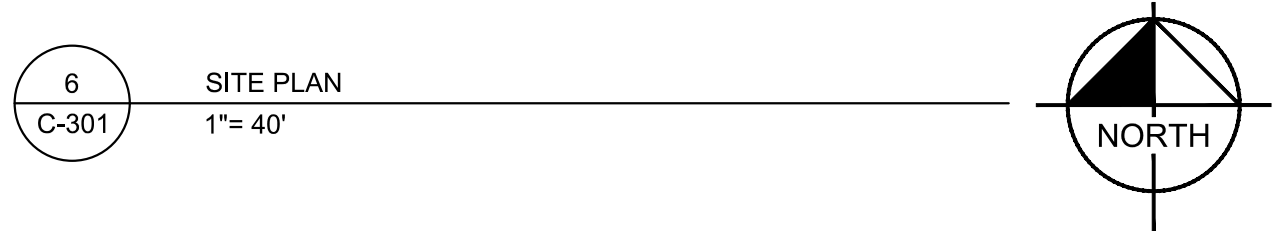
TENANT IMPROVEMENTS
22501 N. NORMANDY BLVD.
DELTONA, FLORIDA 32725

SHEET REVISIONS

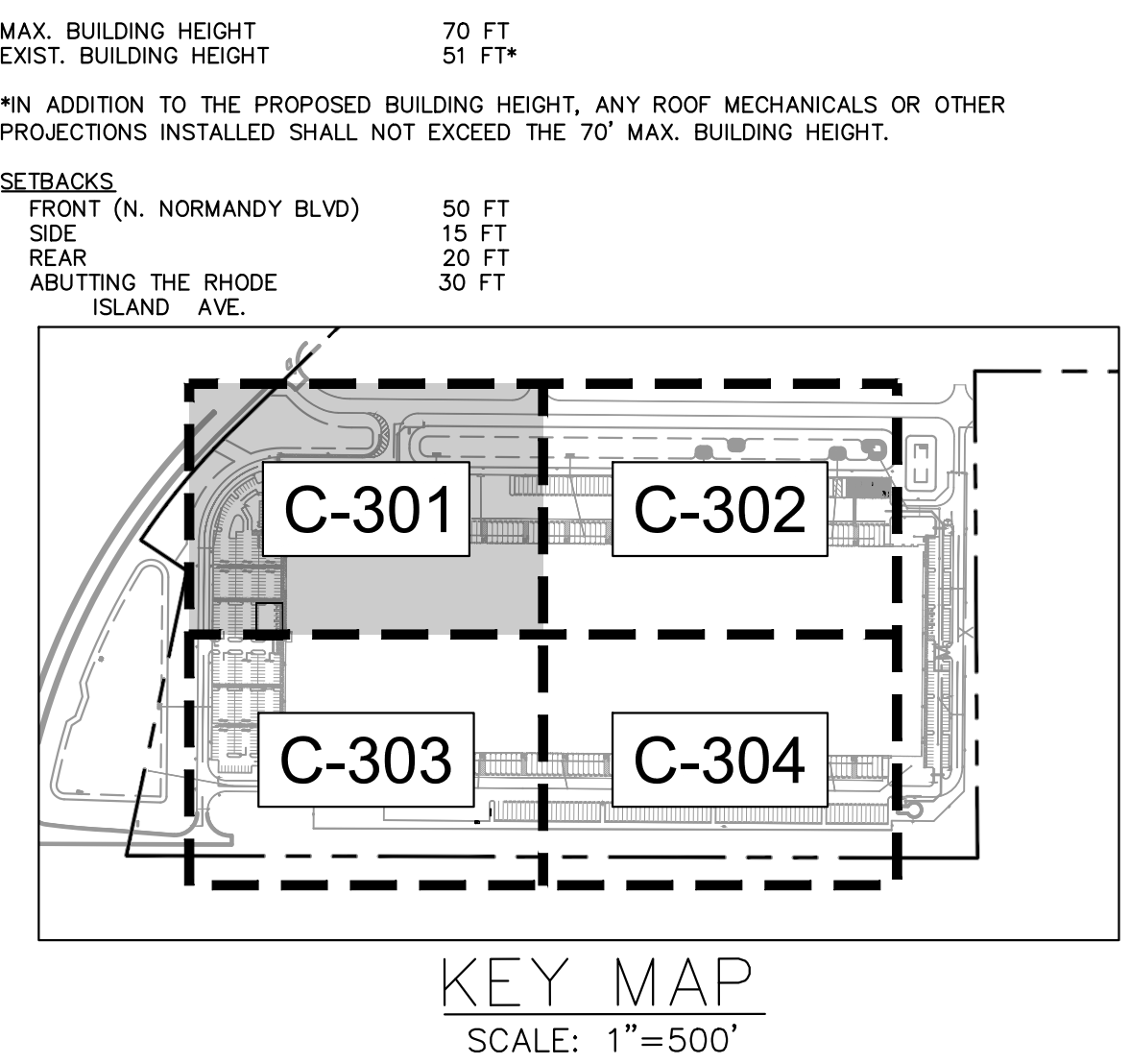
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OVERALL PLAN

C-200



LOCATION	SECTION 7, TOWNSHIP 18S, RANGE 31E	
ADDRESS	N. NORMANDY BLVD, DELTONA, FL 32725	
TOTAL PROPERTY AREA	128.40 AC	
LOT 1/PHASE 1 PROPERTY AREA	56.12 AC	
LOT 2/PHASE 2 PROPERTY AREA	72.28 AC	
PROPOSED USE	HIGH CUBE WAREHOUSE	
CONSTRUCTION TYPE	TYPE IIB	
REQUIRED PARKING	0.35 SPACES/1,000 SF GFA = 345 SPACES	
PROPOSED PARKING	383 SPACES (EXISTING--WEST SIDE OF BUILDING)	
	115 SPACES (EXISTING--EAST SIDE OF BUILDING)	
	103 SPACES (PROPOSED--NORTH SIDE OF BUILDING)	
TOTAL:	601 SPACES	
REQUIRED STALL SIZE	9' x 19'	
EXISTING STALL SIZE	9' x 19'	
REQUIRED HANDICAP PARKING	2 PERCENT OF TOTAL = 13 SPACES	
EXISTING HANDICAP PARKING	11 SPACES	
REQUIRED F.A.R.	0.4	
EXISTING F.A.R.	0.4	
MAX ISR ALLOWED FOR THE I-4 LOGISTICS BUSINESS PARK	85.74 ACRES (70%)*	
LOT 1 PROPOSED ISR	42.35 ACRES*	
FUTURE DEVELOPMENT PROPOSED ISR	43.39 ACRES*	
*DOES NOT INCLUDE PROPOSED RIGHT-OF-WAY AREA		



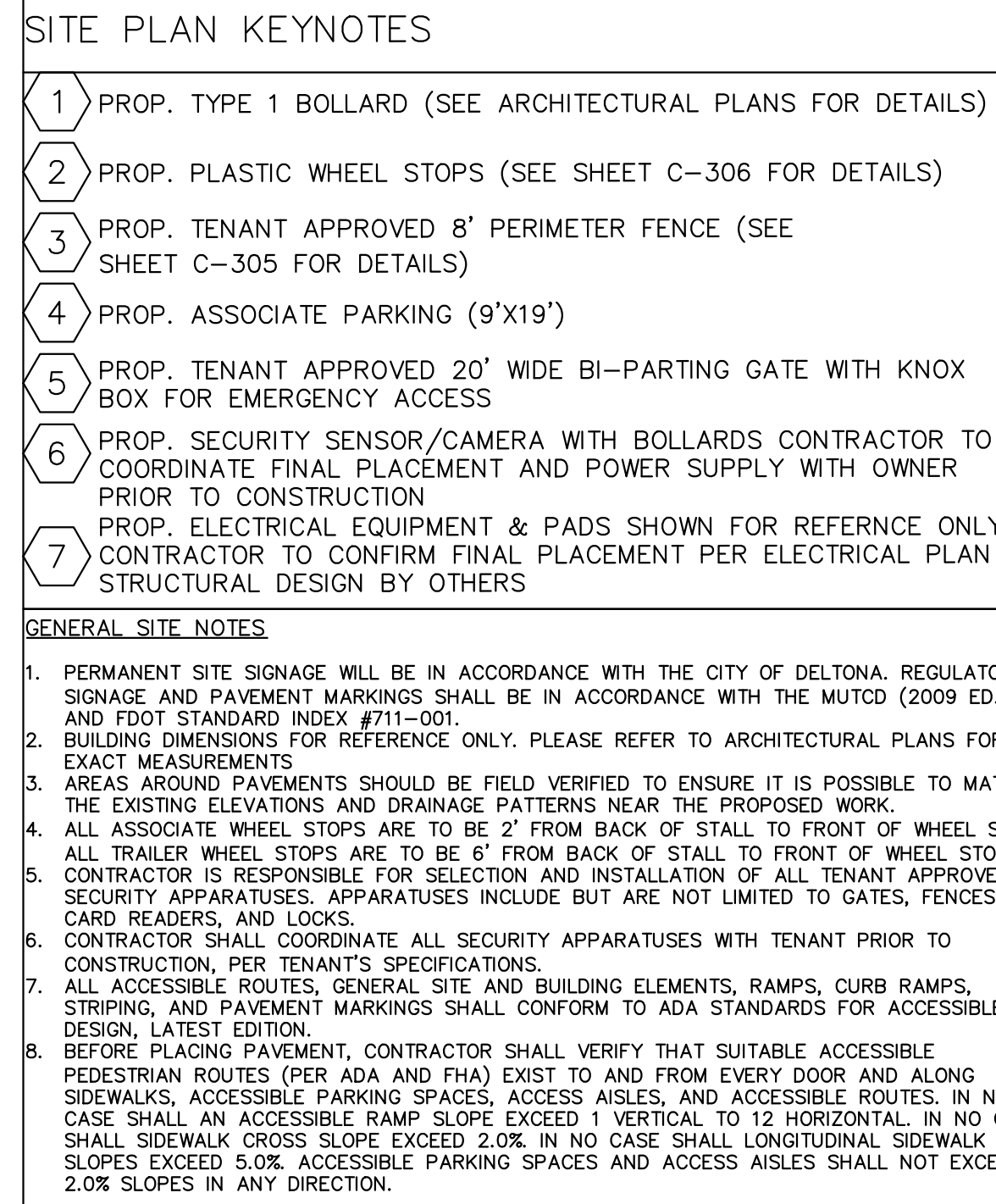
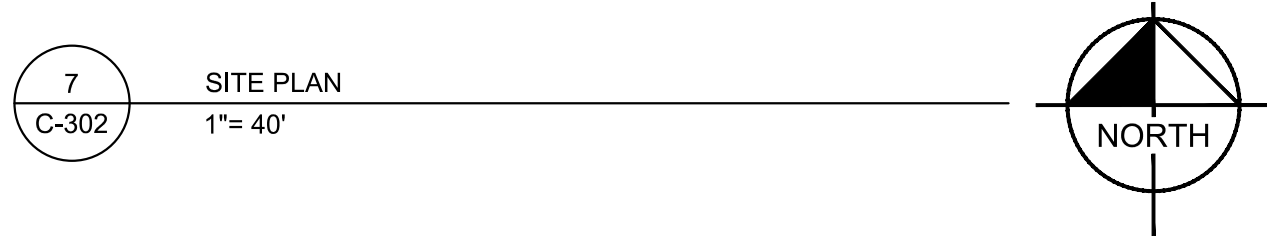
TENANT IMPROVEMENTS
2501 N. NORMANDY BLVD.
DELTONA, FLORIDA 32725

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SITE PLAN

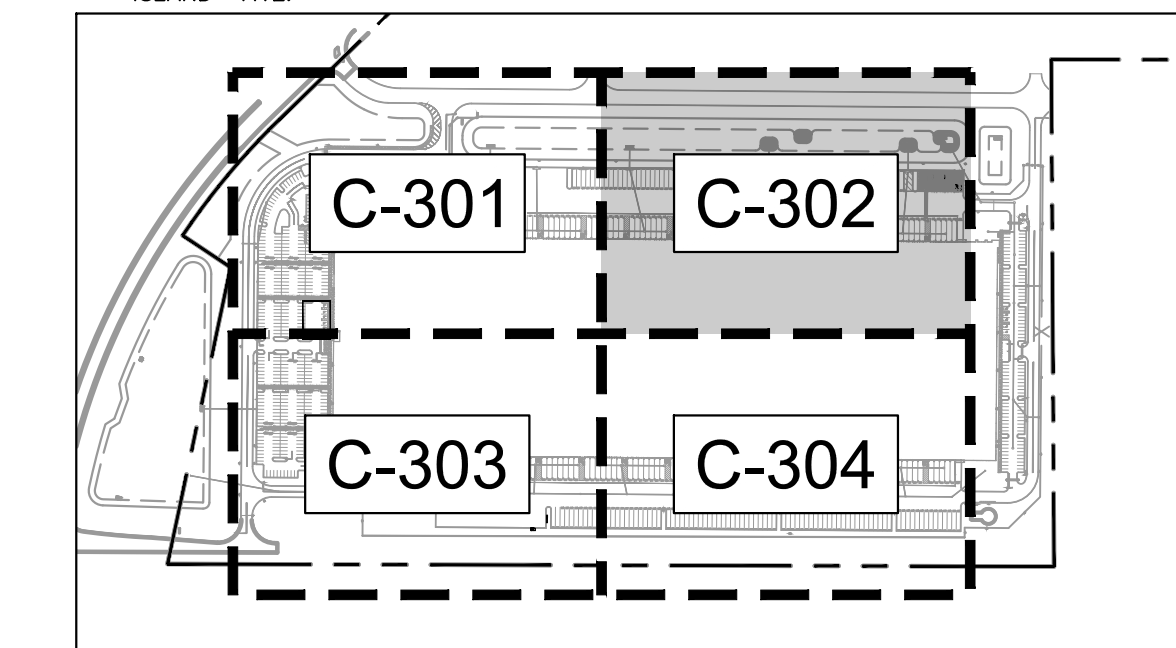
C-301



LOCATION	SECTION 7, TOWNSHIP 18S, RANGE 31E
ADDRESS	N. NORMANDY BLVD, DELTONA, FL 32725
TOTAL PROPERTY AREA	128.40 AC
LOT 1/PHASE 1 PROPERTY AREA	56.12 AC
LOT 2/PHASE 2 PROPERTY AREA	72.28 AC
PROPOSED USE	HIGH CUBE WAREHOUSE
CONSTRUCTION TYPE	TYPE IIB
REQUIRED PARKING	0.35 SPACES/1,000 SF GFA = 345 SPACES
PROPOSED PARKING	383 SPACES (EXISTING--WEST SIDE OF BUILDING) 115 SPACES (EXISTING--EAST SIDE OF BUILDING) 103 SPACES (PROPOSED-- NORTH SIDE OF BUILDING)
TOTAL:	601 SPACES
REQUIRED STILL SIZE	9' X 19'
EXISTING STILL SIZE	9' X 19'
REQUIRED HANDICAP PARKING	2 PERCENT OF TOTAL = 13 SPACES
EXISTING HANDICAP PARKING	11 SPACES
REQUIRED F.A.R.	0.4
EXISTING F.A.R.	0.4
MAX ISR ALLOWED FOR THE I-4 LOGISTICS BUSINESS PARK	85.74 ACRES (70%)*
LOT 1 PROPOSED ISR	42.35 ACRES*
FUTURE DEVELOPMENT PROPOSED ISR	43.39 ACRES*

*DOES NOT INCLUDE PROPOSED RIGHT-OF-WAY AREA

MAX. BUILDING HEIGHT	70 FT
EXIST. BUILDING HEIGHT	51 FT
*IN ADDITION TO THE PROPOSED BUILDING HEIGHT, ALL PROJECTIONS INSTALLED SHALL NOT EXCEED THE FOLLOWING:	
<u>SETBACKS</u>	
FRONT (N. NORMANDY BLVD)	50 FT
SIDE	15 FT
REAR	20 FT
ABUTTING THE RHODE ISLAND TURNPIKE	30 FT



KEY MAP
SCALE: 1"=500'



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PROJECT INFO

TENANT IMPROVEMENTS
22501 N. NORMANDY BLVD.
DELTONA, FLORIDA 32725

SEALS

SHEET REVISIONS

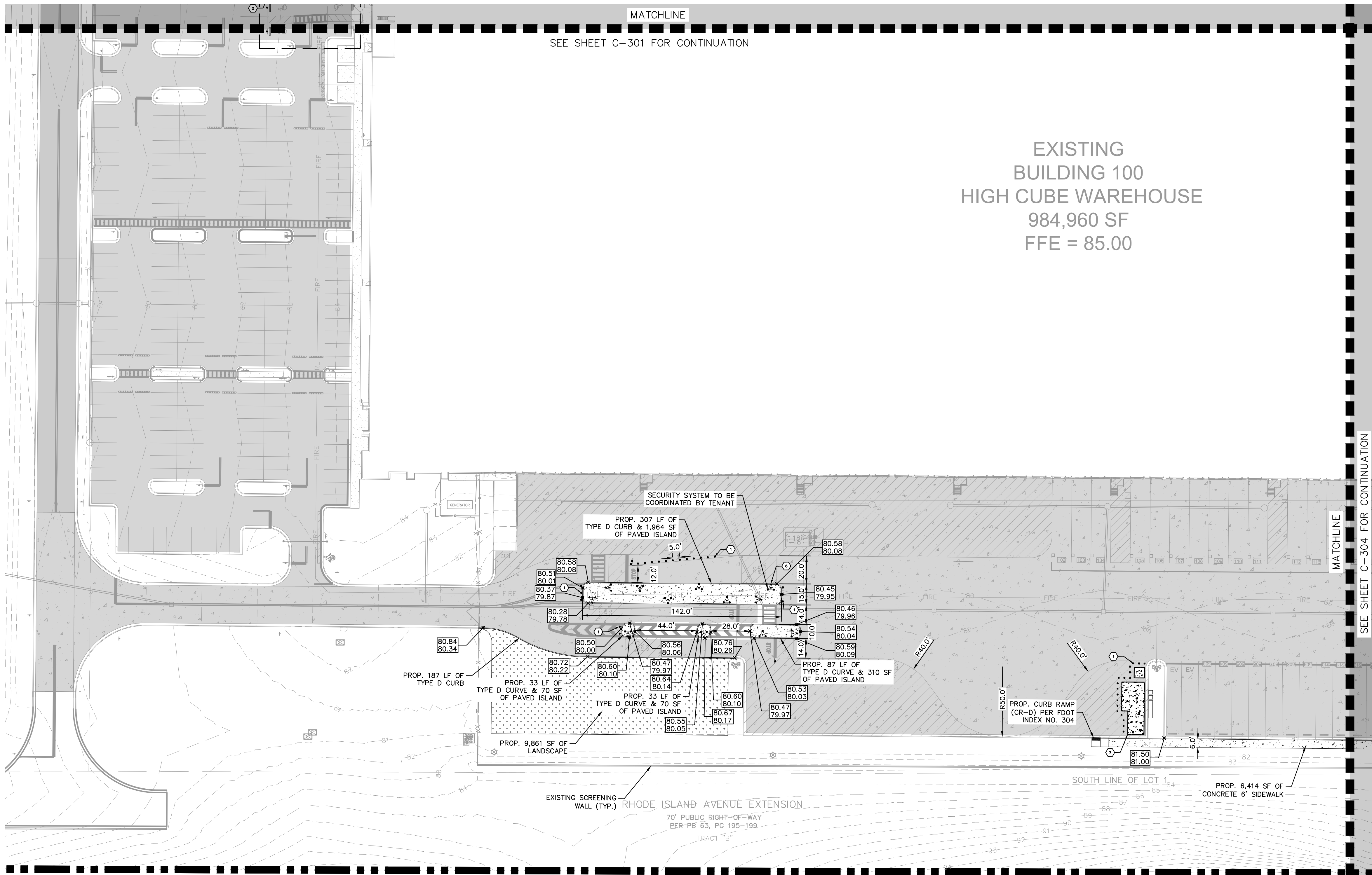
	<u>DATE</u>	<u>REVISION</u>
0	10/21/2025	ISSUE FOR PERMIT

PE:	B.S.
DRAWN BY:	Y.C.
JOB NO:	249251009
DATE:	10/22/2025

SHEET INFO

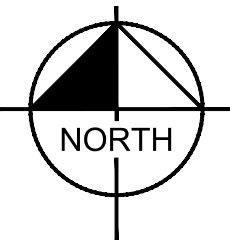
SITE PLAN

C-302



8
C-303

SITE PLAN
1"= 40'



ATLANTIC AE

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PE: B.S.
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SITE PLAN

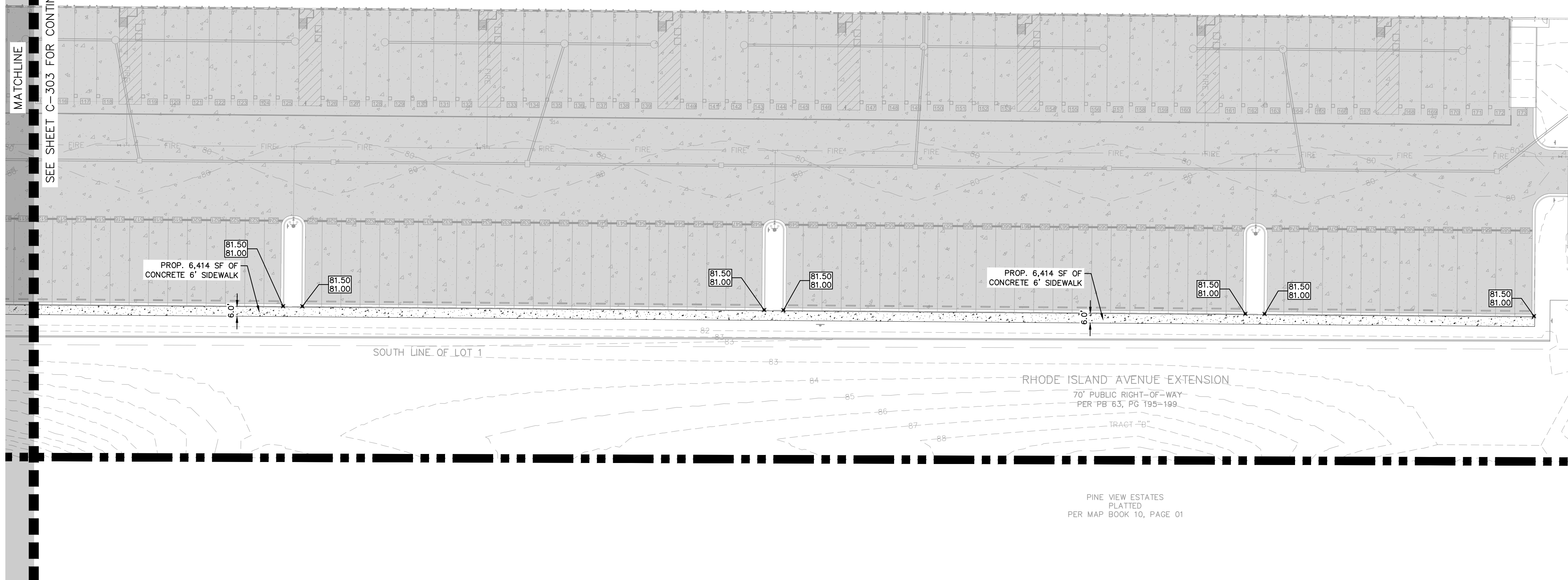
C-303

SEE SHEET C-302 FOR CONTINUATION

MATCHLINE

SEE SHEET C-303 FOR CONTINUATION

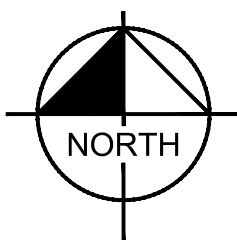
MATCHLINE



PINE VIEW ESTATES
PLATTED
PER MAP BOOK 10, PAGE 01

9
C-304

SITE PLAN
1"= 40'



	PROPERTY LINE
	MATCH LINE
	SECURITY PERIMETER FENCE (SEE SHEET C-305 FOR DETAILS)
	PARKING COUNT
	PROP. CONCRETE SIDEWALK (SEE SHEET C-306 FOR DETAILS)
	PERVIOUS PAVEMENT
	EXIST. ASPHALT / CONCRETE
	PROP. LANDSCAPE

- 1 PROP. TYPE 1 BOLLARD (SEE ARCHITECTURAL PLANS FOR DETAILS)
- 2 PROP. PLASTIC WHEEL STOPS (SEE SHEET C-306 FOR DETAILS)
- 3 PROP. TENANT APPROVED 8' PERIMETER FENCE (SEE SHEET C-305 FOR DETAILS)
- 4 PROP. ASSOCIATE PARKING (9'X19')
- 5 PROP. TENANT APPROVED 20' WIDE BI-PARTING GATE WITH KNOX BOX FOR EMERGENCY ACCESS
- 6 PROP. SECURITY SENSOR/CAMERA WITH BOLLARDS CONTRACTOR TO COORDINATE FINAL PLACEMENT AND POWER SUPPLY WITH OWNER PRIOR TO CONSTRUCTION
- 7 PROP. ELECTRICAL EQUIPMENT & PADS SHOWN FOR REFERENCE ONLY, CONTRACTOR TO CONFIRM FINAL PLACEMENT PER ELECTRICAL PLAN STRUCTURAL DESIGN BY OTHERS

GENERAL SITE NOTES

1. PERMANENT SITE SIGNAGE WILL BE IN ACCORDANCE WITH THE CITY OF DELTONA, REGULATORY SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD (2009 ED.), AND FDOT STANDARD INDEX #711-001.
2. BUILDING DIMENSIONS FOR REFERENCE ONLY. PLEASE REFER TO ARCHITECTURAL PLANS FOR EXACT MEASUREMENTS
3. AREAS AROUND PAVEMENTS SHOULD BE FIELD VERIFIED TO ENSURE IT IS POSSIBLE TO MATCH THE EXISTING ELEVATIONS AND DRAINAGE PATTERNS NEAR THE PROPOSED WORK.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL TRAILER WHEEL STOPS. ALL TRAILER WHEEL STOPS ARE TO BE 6' FROM BACK OF STALL TO FRONT OF WHEEL STOP.
5. CONTRACTOR IS RESPONSIBLE FOR SELECTION AND INSTALLATION OF ALL TENANT APPROVED SECURITY APPARATUS. APPARATUS INCLUDE BUT ARE NOT LIMITED TO GATES, FENCES, CAMeras, AND ALARMS.
6. CONTRACTOR SHALL COORDINATE ALL SECURITY APPARATUS WITH TENANT PRIOR TO CONSTRUCTION, PER TENANT'S SPECIFICATIONS.
7. ALL ACCESSIBLE ROUTES, GENERAL SITE AND BUILDING ELEMENTS, RAMPS, CURB RAMP, STAIRS, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION.
8. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE SIDEWALK ROUTES ARE AVAILABLE AND FROM CURB TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS ALICES, AND ACCESSIBLE ROUTES. IN NO CASE SHALL AN ACCESSIBLE RAMP SLOPE EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPE EXCEED 2.0% IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPE EXCEED 5.0% IN ANY DIRECTION. ACCESSIBLE PARKING SPACES AND ACCESS ALICES SHALL NOT EXCEED 2.0% SLOPES IN ANY DIRECTION.

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	103 SPACES (PROPOSED— NORTH SIDE OF BUILDING)
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EXISTING F.A.R.	0.4

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FUTURE DEVELOPMENT PROPOSED ISR	43.39 ACRES*

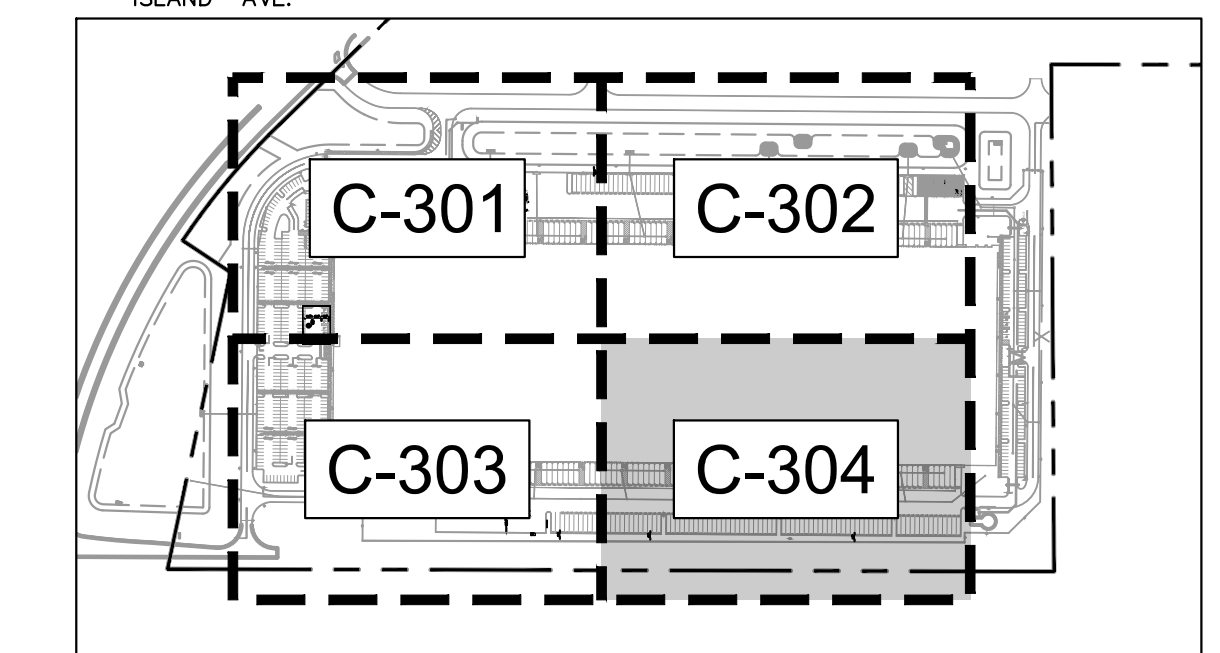
*DOES NOT INCLUDE PROPOSED RIGHT-OF-WAY AREA

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EXIST. BUILDING HEIGHT	51 FT*

*IN ADDITION TO THE PROPOSED BUILDING HEIGHT, ANY ROOF MECHANICALS OR OTHER PROJECTIONS INSTALLED SHALL NOT EXCEED THE 70' MAX. BUILDING HEIGHT.

SETBACKS

FRONT (N. NORMANDY BLVD)	50 FT
SIDE	15 FT
REAR	20 FT
ABUTTING THE RHODE ISLAND AVE.	30 FT



KEY MAP

SCALE: 1"=500'



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SITE PLAN

C-304