

DELTONA APARTMENTS

2942 CARDINAL STREET. DELTONA, FL 32738

MULTIFAMILY RESIDENTIAL (DWELING UNITS): 20 UNITS
TOTAL PROJECT ACRES: 1.097 ACRES (47.779 SF)
TOTAL ON-SITE PROPOSED IMPERVIOUS AREA: 24.777 SF (51.86%)
PARCEL ID: 813074420300
ZONING: RM-2 (MULTIPLE FAMILY RESIDENTIAL)
FUTURE LAND USE: RESIDENTIAL HIGH DENSITY

SCOPE OF WORK

THIS PROJECT CONSISTS OF THE DESIGN AND PREPARATION OF SITE AND LANDSCAPE PLANS FOR A MULTI-FAMILY HOUSING CONSTRUCTION PROJECT IN THE CITY OF DELTONA, FLORIDA. THE PROPOSED BUILDING INCLUDES MULTI-FAMILY RESIDENTIAL UNITS DISTRIBUTED OVER THREE FLOORS.

THE SCOPE OF WORK COVERS THE SITE PLANNING, GRADING LAYOUT, DRAINAGE COORDINATION, PARKING CONFIGURATION, PEDESTRIAN CIRCULATION, UTILITY CONNECTIONS, AND LANDSCAPE DESIGN, INCLUDING THE SELECTION AND PLACEMENT OF PLANT MATERIALS, IRRIGATION LAYOUT, AND COMPLIANCE WITH ALL APPLICABLE CITY OF DELTONA LANDSCAPE AND BUFFERING REQUIREMENTS.

ALL DRAWINGS ARE PREPARED IN ACCORDANCE WITH THE CITY OF DELTONA LAND DEVELOPMENT CODE, THE FLORIDA BUILDING CODE (2023), AND OTHER APPLICABLE STATE AND LOCAL REGULATIONS.

GENERAL NOTES

- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE **FLORIDA BUILDING CODE 2023** AND **CITY OF DELTONA LAND DEVELOPMENT CODE**.
- NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE CITY.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION.



1 LOCATION MAP
1" = 200'-0"

SHEET INDEX	
No.	SHEET NAME
1.0	COVER SHEET
2.0	SITE PLAN
3.0	TREE PLAN
4.0	LANDSCAPE PLAN
4.1	LANDSCAPE AREAS

DGC INVESTMENT

2942 CARDINAL STREET
DELTONA, FL 32738

OWNER/ADDRESS

SIGNED:

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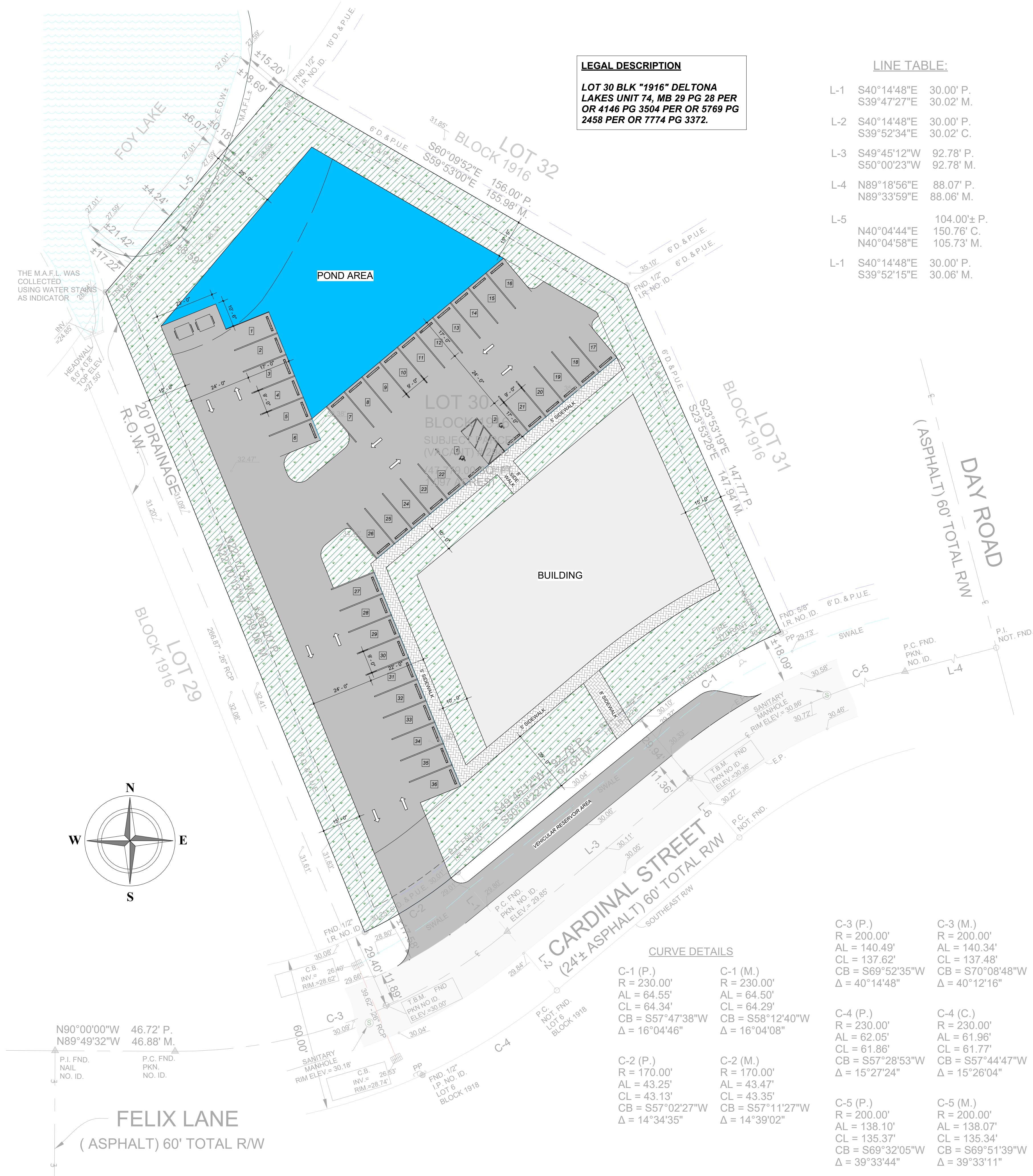
REVISIONS	
DATE	DESCRIPTION

DATE:	SEP 2025
DRAWN BY:	CARLOS R
SCALE:	AS INDICATED

Sheet Title:
COVER SHEET

1.0

Project No:	25-588
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CODE NOTES

- THE MINIMUM PAVEMENT WIDTH FOR THE TWO-WAY ACCESS SHALL BE 24 FEET.
- MAXIMUM DENSITY: 20 DWELLING UNITS/ACRE. - MINIMUM DENSITY: 12 DWELLING UNITS/ACRE.
- THE MAXIMUM BUILDING LOT COVERAGE ALLOWED IS 40%
- MINIMUM FLOOR AREA EXCLUSIVE OF TERRACES, ATTACHED ROOFED-OVER PORCHES, CARPORTS, PATIOS, ATTACHED GARAGES, AND UTILITY ROOMS. 600 SQUARE FEET NET LIVING AREA —ONE-BEDROOM APARTMENTS; 750 SQUARE FEET NET LIVING AREA — TWO-BEDROOM APARTMENTS; 800 SQUARE FEET NET LIVING AREA THREE OR MORE-BEDROOM APARTMENTS.
- THE FIRST FLOOR OF EACH MULTIPLE FAMILY DWELLING BUILDING MUST BE CONCRETE.
- EACH UNIT MUST HAVE AN IN-UNIT WASHER/DRYER AND AN INDEPENDENT BALCONY. ALL BALCONIES SHALL BE A MINIMUM OF 54 SQUARE FEET OF CLEAR, UNOBSTRUCTED SPACE, AT LEAST SIX FEET IN DEPTH.
- ENHANCED LANDSCAPING TO INCLUDE A MINIMUM-TEN-FOOT PLANTING AREA FOR BUILDING FOUNDATION LANDSCAPING.
- MINIMUM EIGHT-FOOT-WIDE SIDEWALKS.
- ALL PARKING AND LOADING AREAS SHALL BE CONSTRUCTED WITH A SIX-INCH RAISED CURB OR BUMPER BLOCKS LOCATED A MINIMUM DISTANCE OF SEVEN FEET BEHIND THE STREET RIGHT-OF-WAY LINE AND OTHER PROPERTY LINES.
- THE AREA COVERED BY STRUCTURES AND IMPERVIOUS SURFACE SHALL NOT EXCEED 60 PERCENT FOR RESIDENTIAL LOTS.

AREAS SCHEDULE

AREA	SQ FT	%
BUFFER	13,489 ft²	28.23%
BUILDING	7,792 ft²	16.31%
BUILDING LANDSCAPE	2,441 ft²	5.11%
DUMPSTER	242 ft²	0.51%
GREEN AREA	802 ft²	1.68%
PARKING	14,945 ft²	31.28%
POND	6,115 ft²	12.80%
SIDEWALK	1,954 ft²	4.09%
TOTAL AREA	47,779 ft²	100.00%
IMPERVIOUS	24,933 ft²	52.18%
PERVIOUS	22,846 ft²	47.82%

PARCEL ID

813074420300

ZONING AND FUTURE LAND USE

EXISTING ZONING: RM-2 - MULTIPLE FAMILY RESIDENTIAL
FUTURE LAND USE: RESIDENTIAL HIGH DENSITY (12.1 - 20 UNITS / ACRE)

UTILITIES

ELECTRIC: FLORIDA POWER & LIGHT - VOLUSIA
POTABLE WATER: DELTONA WATER
GAS UTILITY: FL PUBLIC UTILITIES
SANITARY SEWER: DELTONA WATER
TELEPHONE: AT&T
INTERNET: CENTURYLINK

BUILDING

MAX. HEIGH: 80 FT
PROPOSED BUILDING HEIGHT: 3 FLOORS
PROPOSED DWELLINGS UNITS: 20

DWELLING UNITS PROPOSED

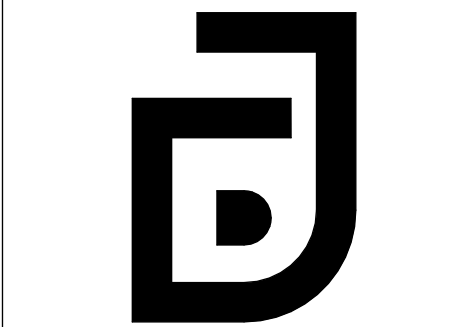
2-BEDROOM OR MORE UNITS: 8
1-BEDROOM + OFFICE UNITS: 12
TOTAL UNITS: 20

SITE LEGEND

- ASPHALT PAVEMENT
- SIDEWALKS
- GREEN AREA
- RETENTION POND

NOTES

- ALL EXISTING OVERHEAD POWERLINES WILL BE RELOCATED UNDERGROUND IN COMPLIANCE WITH PROJECT REQUIREMENTS AND APPLICABLE REGULATIONS. THE NECESSARY MEASURES WILL BE IMPLEMENTED TO ENSURE PROPER INSTALLATION AND INTEGRATION WITH THE EXISTING INFRASTRUCTURE.
- STREET RIGHTS-OF-WAY IS COMMON AREA. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE CITY OF DELTONA LAND DEVELOPMENT CODE AND VOLUSIA COUNTY CODE OF ORDINANCES. OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF BOTH NEW AND REPLACEMENT QUADRANT STREET SIGNS. DESIGNED FOLLOWING THE 8TH EDITION 2023 FLORIDA BUILDING CODE REQUIREMENTS.



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REVISIONS	
DATE	DESCRIPTION

DATE: SEP 2025

DRAWN BY: CARLOS R

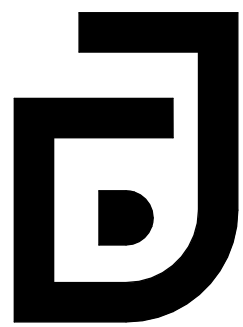
SCALE: AS INDICATED

Sheet Title:
SITE PLAN

2.0

Project No: 25-588

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DATE: OCT 2025

DRAWN BY: CARLOS R

SCALE: AS INDICATED

Sheet Title:

TREE PLAN

3.0

Project No: 25-588

LINE TABLE:

L-1	S40°14'48"E	30.00' P.
	S39°47'27"E	30.02' M.
L-2	S40°14'48"E	30.00' P.
	S39°52'34"E	30.02' C.
L-3	S49°45'12"W	92.78' P.
	S50°00'23"W	92.78' M.
L-4	N89°18'56"E	88.07' P.
	N89°33'59"E	88.06' M.
L-5		104.00± P.
	N40°04'44"E	150.76' C.
	N40°04'58"E	105.73' M.
L-1	S40°14'48"E	30.00' P.
	S39°52'15"E	30.06' M.

EXISTING TREE INVENTORY

Common Name	Size (inches)	Qty
PINE	24	2
PINE	20	3
PINE	19	5
PINE	15	7
PINE	13	2
PINE	12	20
PINE	8	1
PINE		2
OAK	24	1
OAK	14	2
OAK	12	1
OAK	10	9
OAK	8	7
OAK		1
TOTAL		63

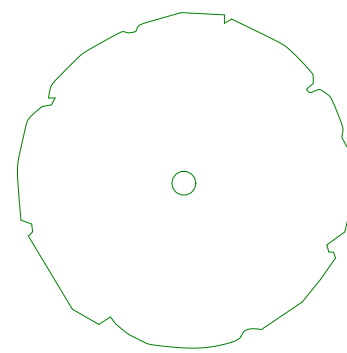
TREE INVENTORY (REMOVED)

Common Name	Size (inches)	Qty
PINE	20	1
PINE	19	2
PINE	15	3
PINE	13	1
PINE	12	8
PINE		2
OAK	24	1
OAK	14	2
OAK	12	1
OAK	10	7
OAK	8	7
TOTAL		35

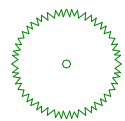
TREE INVENTORY (PRESERVED)

Common Name	Size (inches)	Qty
PINE	24	2
PINE	20	2
PINE	19	3
PINE	15	4
PINE	13	1
PINE	12	12
PINE	8	1
OAK	10	2
OAK		1
TOTAL		28

TREE PLAN LEGEND



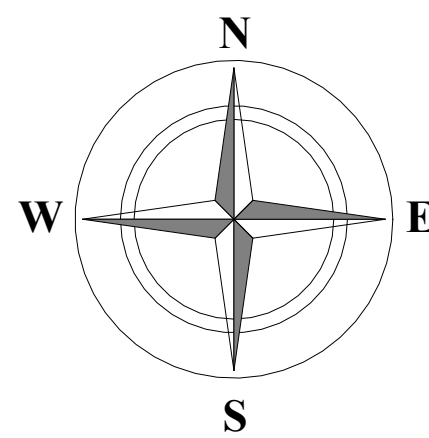
WATER OAK (CANOPY TREE)



PINE (UNDERSTORY TREE)



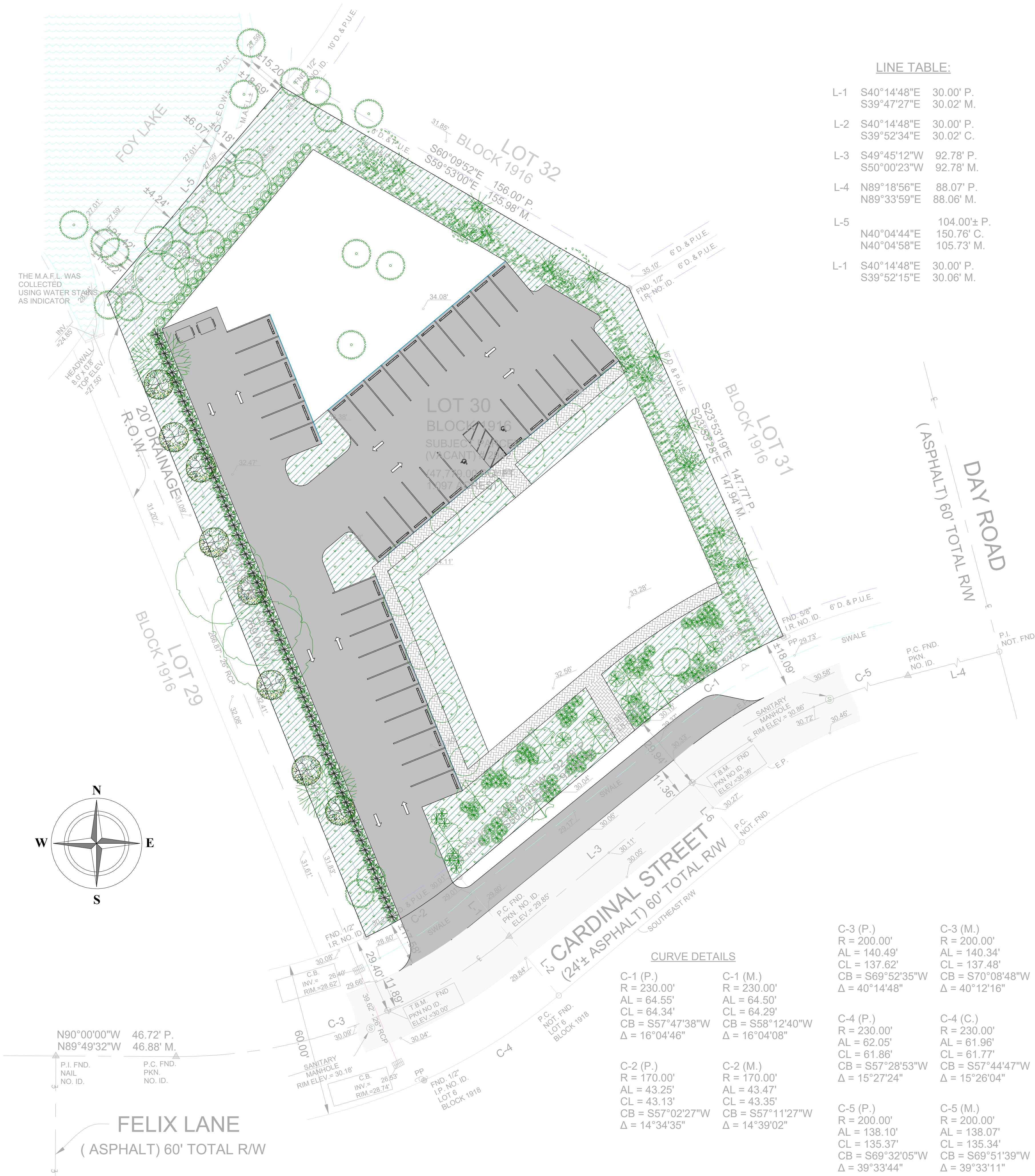
TREE TO BE REMOVED



1 TREE PLAN

3/64" = 1'-0"

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LINE TABLE:

L-1	S40°14'48"E S39°47'27"E	30.00' P. 30.02' M.
L-2	S40°14'48"E S39°52'34"E	30.00' P. 30.02' C.
L-3	S49°45'12"W S50°00'23"W	92.78' P. 92.78' M.
L-4	N89°18'56"E N89°33'59"E	88.07' P. 88.06' M.
L-5	N40°04'44"E N40°04'58"E	104.00'± P. 150.76' C. 105.73' M.
L-1	S40°14'48"E S39°52'15"E	30.00' P. 30.06' M.

CURVE DETAILS

C-1 (P.) R = 230.00' AL = 64.55' CL = 64.34' CB = S57°47'38"W Δ = 16°04'46"	C-1 (M.) R = 230.00' AL = 64.50' CL = 64.29' CB = S58°12'40"W Δ = 16°04'08"
C-2 (P.) R = 170.00' AL = 43.25' CL = 43.13' CB = S57°02'27"W Δ = 14°34'35"	C-2 (M.) R = 170.00' AL = 43.47' CL = 43.35' CB = S57°11'27"W Δ = 14°39'02"

C-3 (P.) R = 200.00' AL = 140.49' CL = 137.62' CB = S69°52'35"W Δ = 40°14'48"	C-3 (M.) R = 200.00' AL = 140.34' CL = 137.48' CB = S70°08'48"W Δ = 40°12'16"
C-4 (P.) R = 230.00' AL = 62.05' CL = 61.86' CB = S57°28'53"W Δ = 15°27'24"	C-4 (C.) R = 230.00' AL = 61.96' CL = 61.77' CB = S57°44'47"W Δ = 15°26'04"
C-5 (P.) R = 200.00' AL = 138.10' CL = 135.37' CB = S69°32'05"W Δ = 39°33'44"	C-5 (M.) R = 200.00' AL = 138.07' CL = 135.34' CB = S69°51'39"W Δ = 39°33'11"

NOTES:

- SEE TREE PLAN FOR DETAILS AND PLANT SCHEDULE.
- CONTRACTOR IS EXPECTED TO CARRY OUT ALL RESPONSIBILITIES SET FORTH IN THESE SPECIFICATIONS, TREE NOTES, AND THE LANDSCAPE SPECIFICATIONS. THEY WILL BE STRICTLY ENFORCED BY THE OWNER.
- ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER ACCORDING TO THE CURRENT NURSERY GRADES AND STANDARDS.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO INSTALLATION.
- ALL PLANTS SHALL MEET SIZE, CONTAINER, AND SPACING SPECIFICATIONS. ANY MATERIAL NOT MEETING SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE TO RECEIVE THE LANDSCAPE ARCHITECT'S APPROVAL OF ALL PLANT BED LAYOUTS AND TREE LOCATIONS PRIOR TO INSTALLATION. IF PLANT MATERIAL IS INSTALLED PRIOR TO LANDSCAPE ARCHITECT'S APPROVAL, CONTRACTOR WILL BE SUBJECT TO RELOCATING THE MATERIAL AT THE LANDSCAPE ARCHITECT'S REQUEST AND THE CONTRACTOR'S OWN EXPENSE.
- ALL SHRUBS SHALL BE PLANTED 1-1/2" AND TREES 2-1/2" ABOVE GRADE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PLANT HEALTH IN ON-SITE SOILS.
- CONTRACTOR SHALL PERFORM SOIL TESTING PRIOR TO CONSTRUCTION 1) TO DETERMINE NUTRIENT STATUS AND PH OF SOIL AND 2) TO DETERMINE THE SOIL TEXTURE IN THE TOP 6"-12" OF SOIL, AND THEN AMEND THE SOIL BASED ON THE RESULTS OF THE TESTS. SEE THE LANDSCAPE SPECIFICATIONS FOR MORE INFORMATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING. GRADING SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR SHALL SUBMIT UNIT PRICES FOR ALL BID ITEMS.
- SOIL SHALL BE FREE FROM LIME ROCK AND CONSTRUCTION DEBRIS.
- IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES REPRESENTED ON THE PLAN VS. QUANTITIES SHOWN ON THE PLANT LIST, THE PLAN SHALL CONTROL.
- CONTRACTOR SHALL MAINTAIN TREES IN A STRAIGHT AND PLUMB POSITION FOR ONE YEAR. CONTRACTOR SHALL STAKE TREES IF REQUIRED BY THE JURISDICTION.
- PRIOR TO REMOVAL OF ANY TREES, THE TREES TO BE RETAINED SHALL HAVE PROTECTIVE TREE BARRICADES INSTALLED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR OWN TAKE OFFS AND QUANTITIES.
- QUANTITIES ON THE PLANT LIST SERVE ONLY AS A GUIDE TO THE OWNER AND L.A. THIS INCLUDES BUT IS NOT LIMITED TO THE CONTRACTOR SHALL BE HELD ACCOUNTABLE.
- CONTRACTOR SHALL BREAK UP ALL ROOT BALL MATERIALS IMMEDIATELY AFTER CONTAINER REMOVAL. PLANTS SHALL BE HELD DURING THE PERIOD FROM CONTRACT TO INSTALLATION TO ENSURE HEALTH AND VIGOR. ALL PLANTS WILL BE REQUIRED TO BE FULL AND HEALTHY.
- CONTRACTOR SHALL ARRANGE FOR PLANT APPROVAL PRIOR TO DELIVERY, EITHER BY SAMPLES, PHOTOGRAPHS, OR OWNER APPROVAL.
- CONTRACTOR SHALL PROVIDE ONE YEAR WARRANTY OF THE HEALTH OF PLANTS IN ON-SITE SOILS. PLANTS SHOWING EVIDENCE OF BEING WATER-LOGGED, UNDERFERD, COMPACTED OR SIMILAR CONDITIONS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE TIME OF OWNER LANDSCAPE ACCEPTANCE, PLANTS SHALL BE HEALTHY AND VIGOROUS.

LANDSCAPE LEGEND

	BLACK CHERRY (CANOPY TREE)
	WATER OAK (CANOPY TREE)
	REDBUD (CANOPY TREE)
	SOUTHERN BASSWOOD (CANOPY TREE)
	FLORIDA ELM (CANOPY TREE)
	DAHOON HOLLY (UNDERSTORY TREE)
	MAYHAW (UNDERSTORY TREE)
	SWEETBAY (UNDERSTORY TREE)
	PINE (UNDERSTORY TREE)
	PAW PAW (UNDERSTORY TREE)
	FLORIDA PRIVET (SHRUB)
	SPICE-BUSH (SHRUB)
	ST JHON'S WORT (SHRUB)

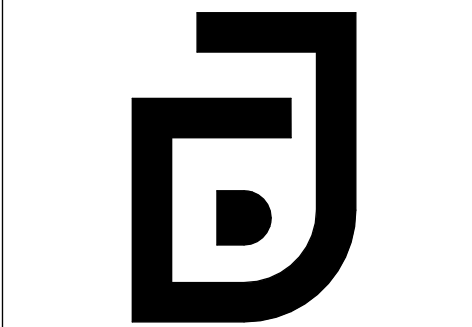
TREE INVENTORY (PROPOSED)		
Common Name	Botanical Name	Qty
Existing		
OAK	QUERCUS NIGRA	21
PINE		42
		63
New Construction		
BLACK CHERRY	PRUNUS SEROTINA	6
DAHOON HOLLY	ILEX CASSINE	11
FLORDIA ELDERBERRY	SAMBUCUS SIMPSONII	23
FLORDIA ELM	ULMUS AMERICANA VAR. FLORIDIANA	2
FLORDIA PRIVET	FORESTIERA SEGREGATA	68
MAYHAW	CRATEGUS OPACA	8
NEEDLE PALM	RHAPIDOHYLLUM HYSTRIX	7
PAW PAW	ASIMIA TRILOBA	6
REDBUD	CERCIS CANADENSIS	8
SOUTHERN BASSWOOD	TILIA FLORIDIANA	2
SPICE-BUSH	LINDERA BENZOIN	62
ST. JHON'S WORT	HYPERICUM SPP.	55
SWEETBAY	MAGNOLIA VIRGINIANA	10
		268
TOTAL		331

MINIMUM PLANTING REQUIREMENTS

- PER CITY OF DELTONA LDC, **TABLE 110-5, A 20-FOOT LANDSCAPE BUFFER** SHALL PROVIDE **FOUR (4) SHADE TREES, FOUR (4) UNDERSTORY TREES, AND THIRTY (30) SHRUBS** PER 100 LINEAR FEET OF PROPERTY LINE ALONG THE RIGHT-OF-WAY.
- PER CITY OF DELTONA LDC **SEC. 110-808(E)(7)(B) ONE (1) SHADE TREE AND TWO (2) UNDERSTORY TREES** SHALL BE PLANTED PER 50 LINEAR FEET OF ADJACENT PROPERTY LINES. **A CONTINUOUS ROW OF SHRUBS** SHALL BE PROVIDED WITHIN THE BUFFER AREAS, CAPABLE OF REACHING A MINIMUM HEIGHT OF 3 FEET WITHIN ONE (1) YEAR AFTER PLANTING AND ACHIEVING APPROXIMATELY 100% OPACITY.

TREE PLANTING STANDARDS

CANOPY TREES SHALL HAVE A MINIMUM CALIPER AT DBH OF ONE AND ONE-HALF INCHES AND A MINIMUM HEIGHT OF SIX FEET, AND UNDERSTORY TREES SHALL HAVE A MINIMUM HEIGHT OF SIX FEET AND MINIMUM CALIPER AT DBH OF THREE-FOURTHS INCH AT INSTALLATION. TREES SHALL NOT BE PLANTED WHERE THEY INTERFERE WITH SITE DRAINAGE.



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REVISIONS

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DATE:	SEP 2025
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SCALE:	AS INDICATED

Sheet Title:
LANDSCAPE PLAN

4.0

Project No: 25-588



1
1" = 40'-0"

LANDSCAPE

BUFFER

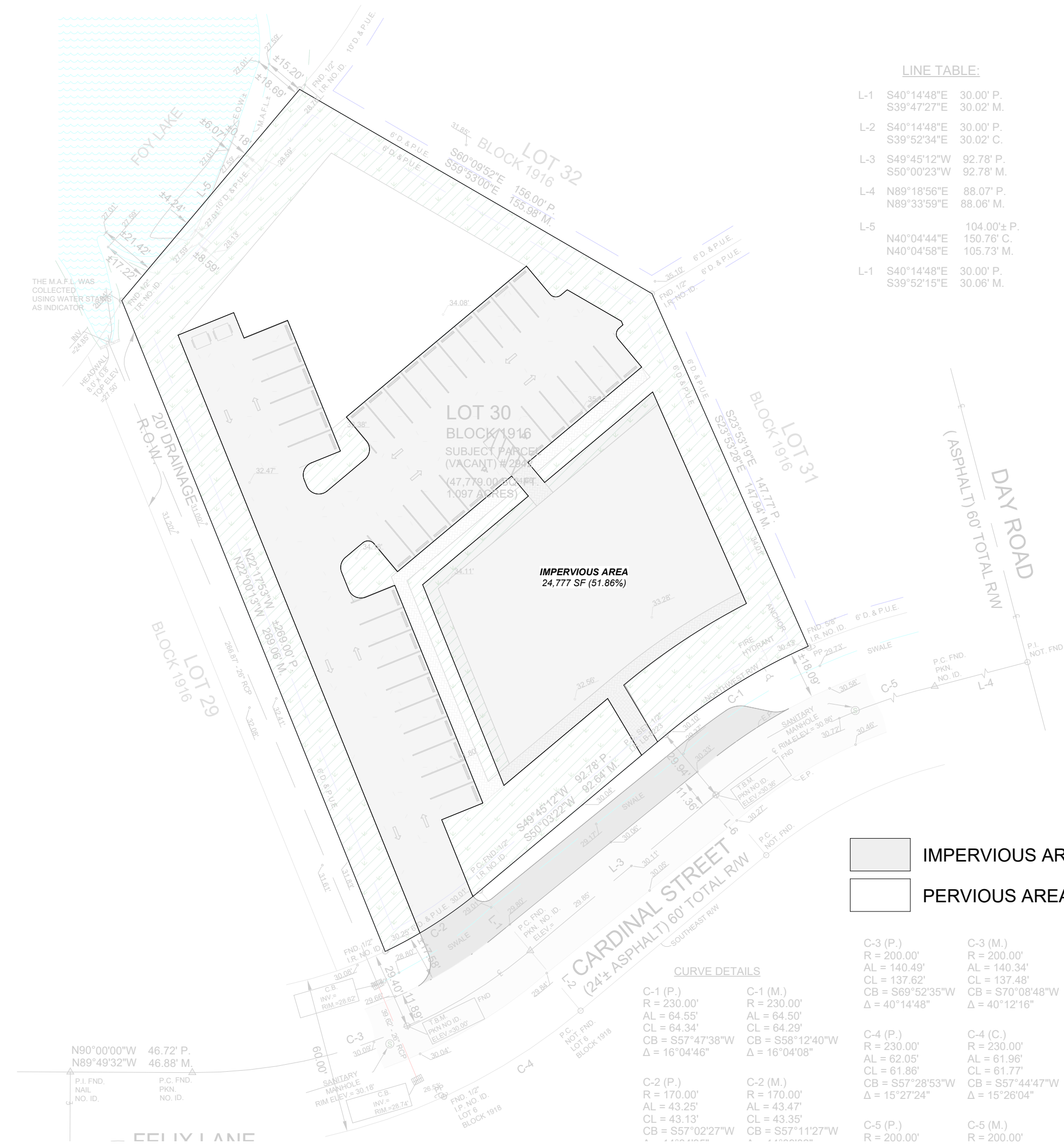
- PER CITY OF DELTONA LDC SEC. 98-53(A)
A WETLAND PROTECTION ZONE WITH A MINIMUM WIDTH OF 25 FEET SHALL BE ESTABLISHED ADJACENT TO AND SURROUNDING ALL WETLANDS ONE-THIRD ACRE OR GREATER IN SIZE.
- PER CITY OF DELTONA LDC SEC. 110-808(E)(5)B
MULTIFAMILY DEVELOPMENTS SHALL PROVIDE A MINIMUM LANDSCAPE BUFFER OF 20 FEET ALONG ALL STREET FRONTAGES.
- PER CITY OF DELTONA LDC SEC. 110-808(E)(7)A.2
A LANDSCAPED AREA OF NOT LESS THAN 15 FEET IN WIDTH, MEASURED PERPENDICULAR TO THE PROPERTY LINE, SHALL BE PROVIDED ALONG THE PERIMETER OF MULTIFAMILY DEVELOPMENTS.

BUFFER PROPOSED

NORTH - BUFFER 1: 25' WIDTH
SOUTH - BUFFER 2: 20' WIDTH
EAST - BUFFER 3: 15' WIDTH
WEST - BUFFER 4: 15' WIDTH

LANDSCAPE STRIP

- PER CITY OF DELTONA LDC SEC. 110-311(J)(6)
ENHANCED LANDSCAPING TO INCLUDE A MINIMUM TEN FEET PLANTING AREA FOR BUILDING FOUNDATION LANDSCAPING



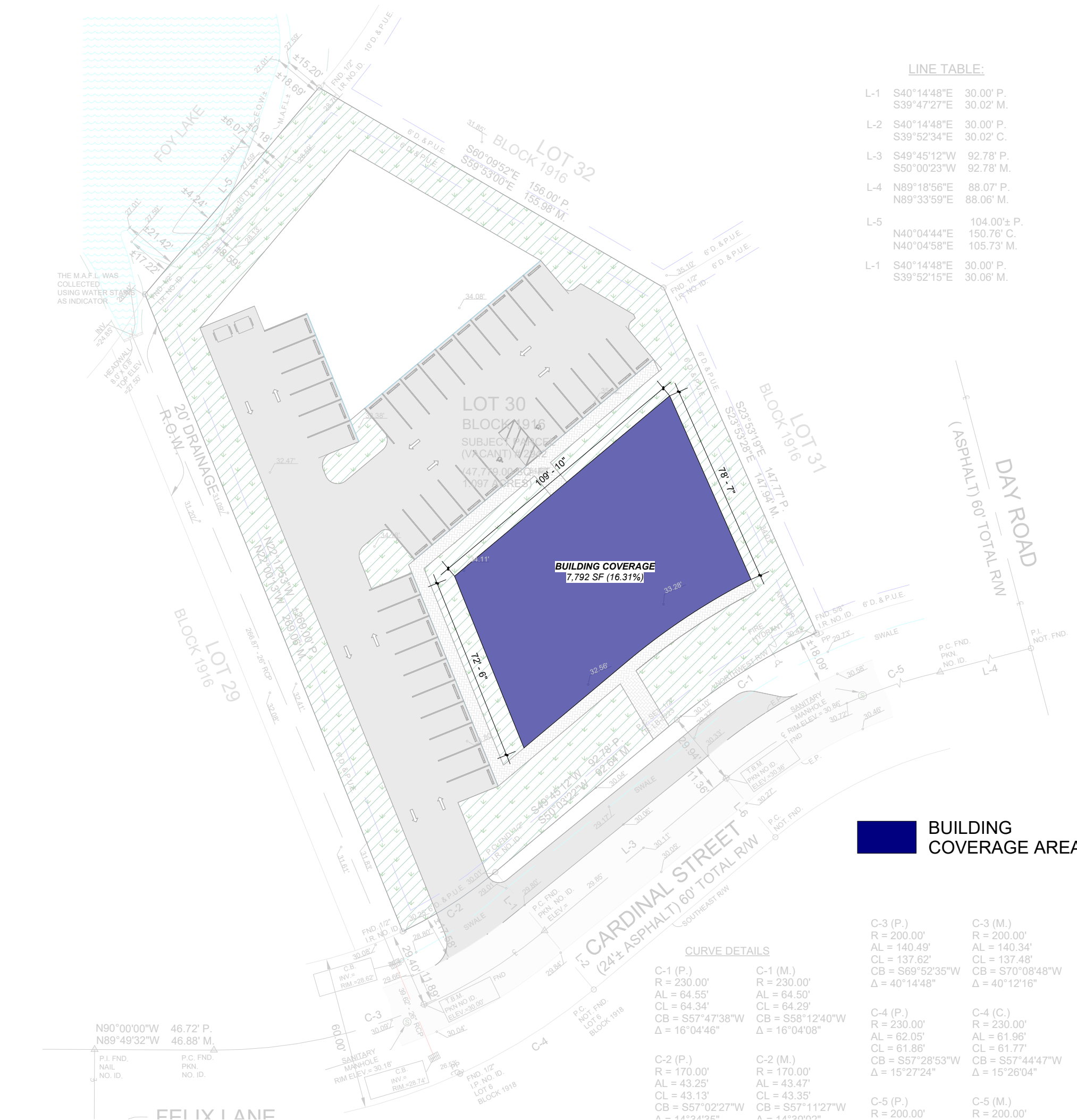
2
1" = 40'-0"

IMPERVIOUS AREA

PER CITY OF DELTONA LAND DEVELOPMENT CODE, SEC. 110-829(K)(1), FOR RESIDENTIAL LOTS, THE COMBINED AREA OF ALL STRUCTURES AND IMPERVIOUS SURFACES SHALL NOT EXCEED 60% OF THE TOTAL LOT AREA.

LOT AREA= 47,779 SF
MAXIMUM IMPERVIOUS AREA (60%)
47,779 X 0.6 = 28,667 SF

IMPERVIOUS AREA PROPOSED= 21,780 SF (46%)



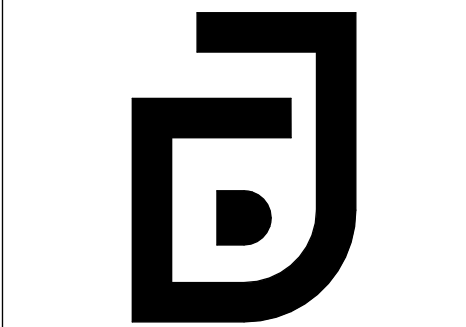
3
1" = 40'-0"

LOT COVERAGE

PER CITY OF DELTONA LAND DEVELOPMENT CODE, FOR PROPERTIES ZONED RM-2 (MULTIPLE FAMILY RESIDENTIAL DWELLING), THE MAXIMUM LOT COVERAGE, INCLUDING BOTH PRINCIPAL AND ACCESSORY STRUCTURES, SHALL NOT EXCEED 40% OF THE TOTAL LOT AREA.

LOT AREA= 47,779 SF
MAXIMUM LOT COVERAGE (40%)
47,779 X 0.4 = 19,111 SF

LOT COVERAGE PROPOSED= 8,434 SF (18%)



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DATE:	OCT 2025
DRAWN BY:	CARLOS R
SCALE:	AS INDICATED
Sheet Title: LANDSCAPE AREAS	

4.1

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