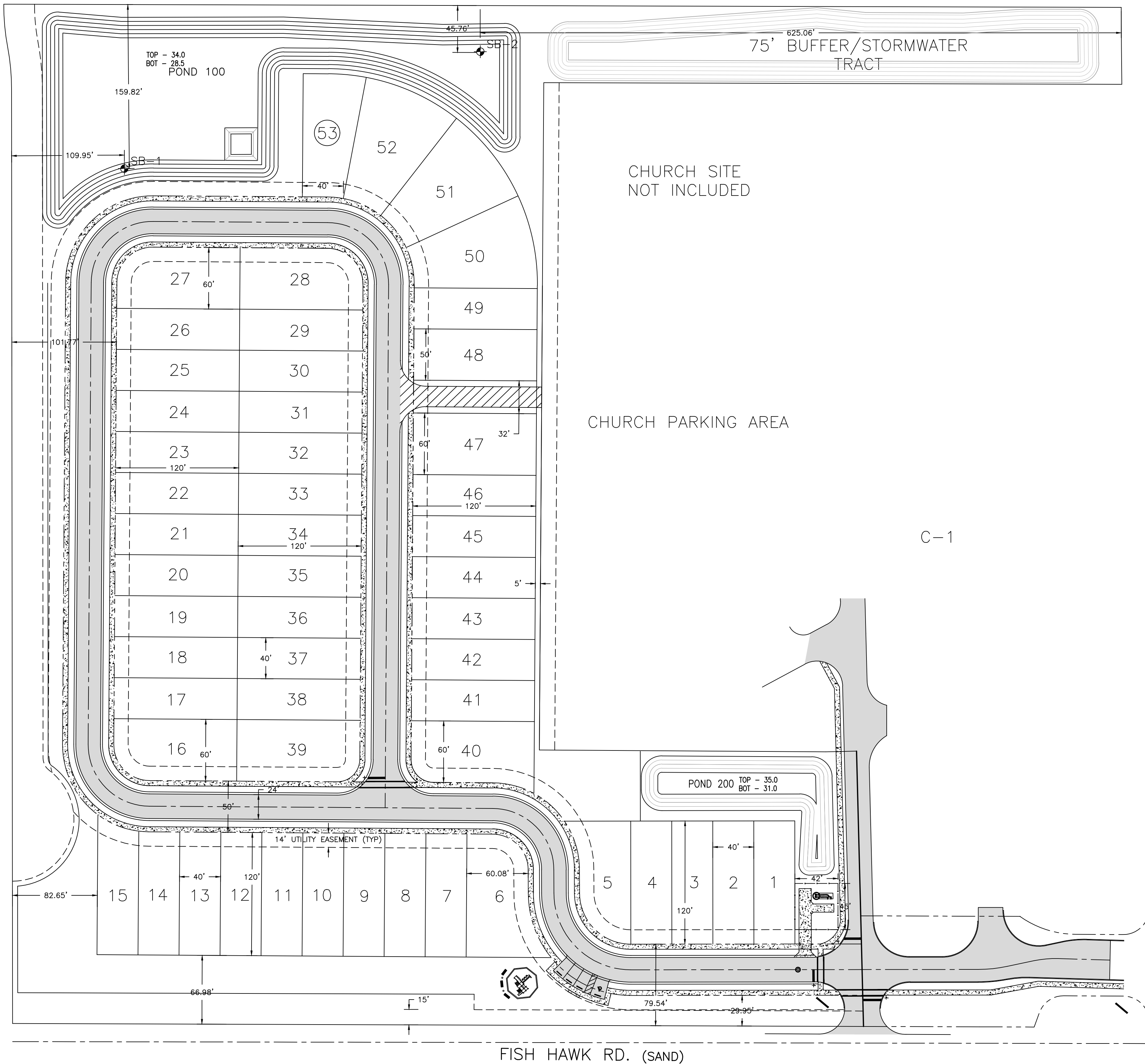


R-1



RE-1

SITE DATA

PROJECT NAME:	PINE RIDGE
LOCATION:	CITY OF DELTONA, VALUASIA COUNTY
DEVELOPER/	HOWLAND HOLDING GROUP, LLC SAIDQUE JAFFER 103 COMMERCIAL STREET, STE. 160 LAKE MARY, FL 32746
TYPE OF PROJECT	RESIDENTIAL (DETACHED)
NUMBER OF DU:	53 DU
OWNED PROPERTY:	13.06 AC
PROJECT AREA:	13.06 AC
REQUIRED OPEN SPACE	25% x 13.06 AC = 3.27 AC
OPEN SPACE PROVIDED	XXX AC
PROPOSED LAND USE:	LDR
PROPOSED ZONING:	RPUD

Development Standards Single Family

	ALLOWABLE	PROVIDED	
MIN LOT AREA	4,800	>,800	
MIN LOT WIDTH	40'	40'	
MAX Building Height	N/A	N/A	
Minimum front yard setback	for a/c portion of building		20 feet
Minimum side yard setback	for lot abutting side street		15 feet
Minimum side yard setback	for buildings, pools, patios		5 feet
Minimum rear yard setback	for buildings		10 feet

WATER SEWER & REUSE:

SEWER TO BE PROVIDED VIA PUBLIC ONSITE SYSTEM CONNECTED TO THE CITY OF DELTONA SEWER 16" FORCE MAIN LOCATED WITHIN HOWLAND BLVD. RIGHT OF WAY. WATER TO BE PROVIDED WITH CONNECTION TO A 1" WATER MAIN WITHIN HOWLAND BLVD. RIGHT OF WAY AND LOOP THROUGH THE PROJECT. THE REUSE WILL BE CONNECTED TO A 8' ALSO LOCATED IN THE HOWLAND BLVD. RIGHTOF WAY AND WILL BE LOOPED THROUGH THE PROJECT.

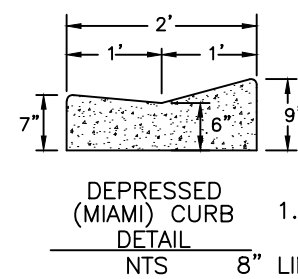
WATER DEMAND: 18,550 GPD
SEWER DEMAND: 14,310 GPD

SOILS:

ACCORDING TO THE SOIL SURVEY OF VOLUSIA COUNTY, FLORIDA.

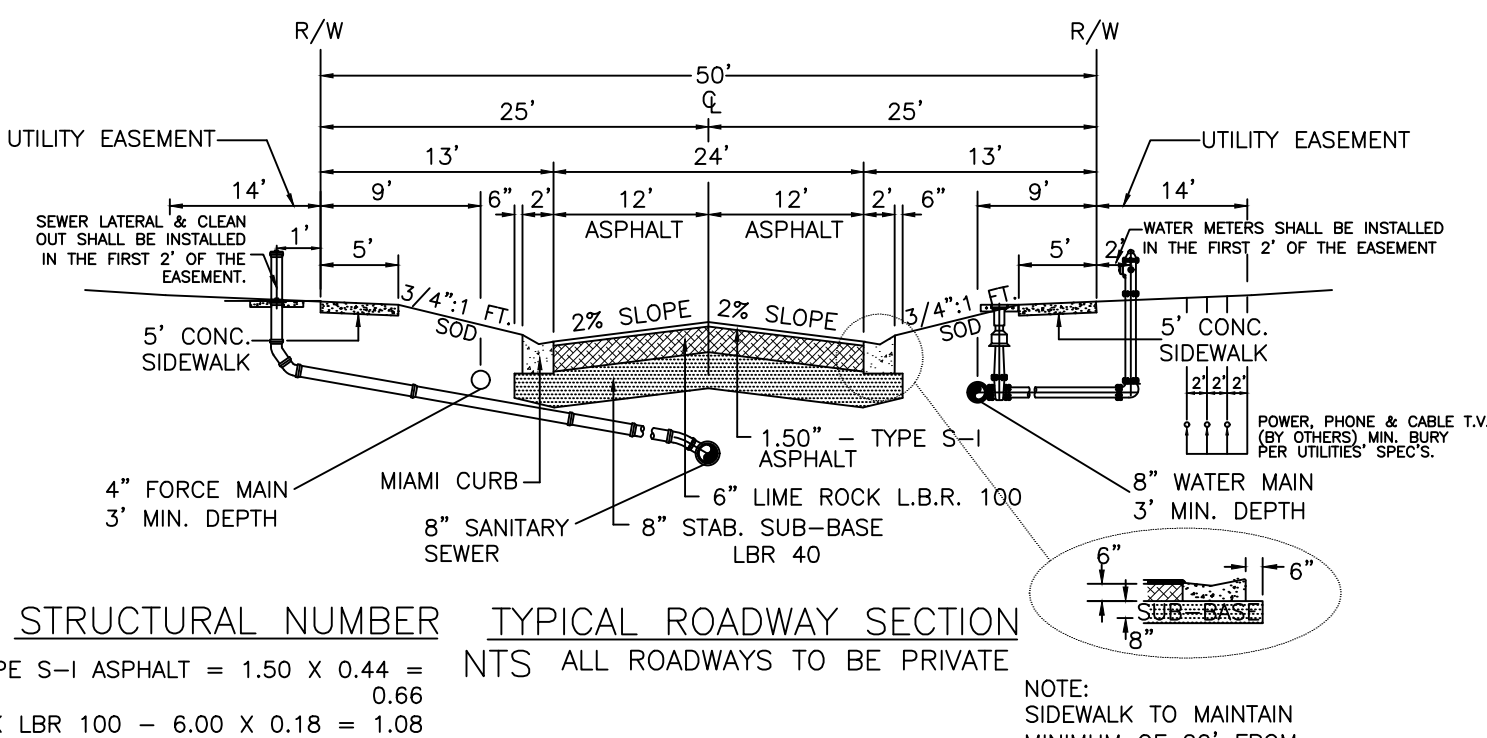
TRAFFIC GENERATION:

ACCESS TO THE PUBLIC ROAD SYSTEM WILL BE VIA HOWLAND BLVD. THE MAXIMUM PROJECTED TRAFFIC GENERATION FOR THIS PROJECT IS 54 PM PEAK HR ~ RATE = 1.01 TRIPS/DU; AND 500 AVERAGE DAILY TRIPS ~ RATE = 9.44 TRIPS/DU PER THE ITE TRIP GENERATION MANUAL, 10TH EDITION, FOR LAND USE 210 - SINGLE FAMILY RESIDENTIAL



STRUCTURAL NUMBER TYPICAL ROADWAY SECTION

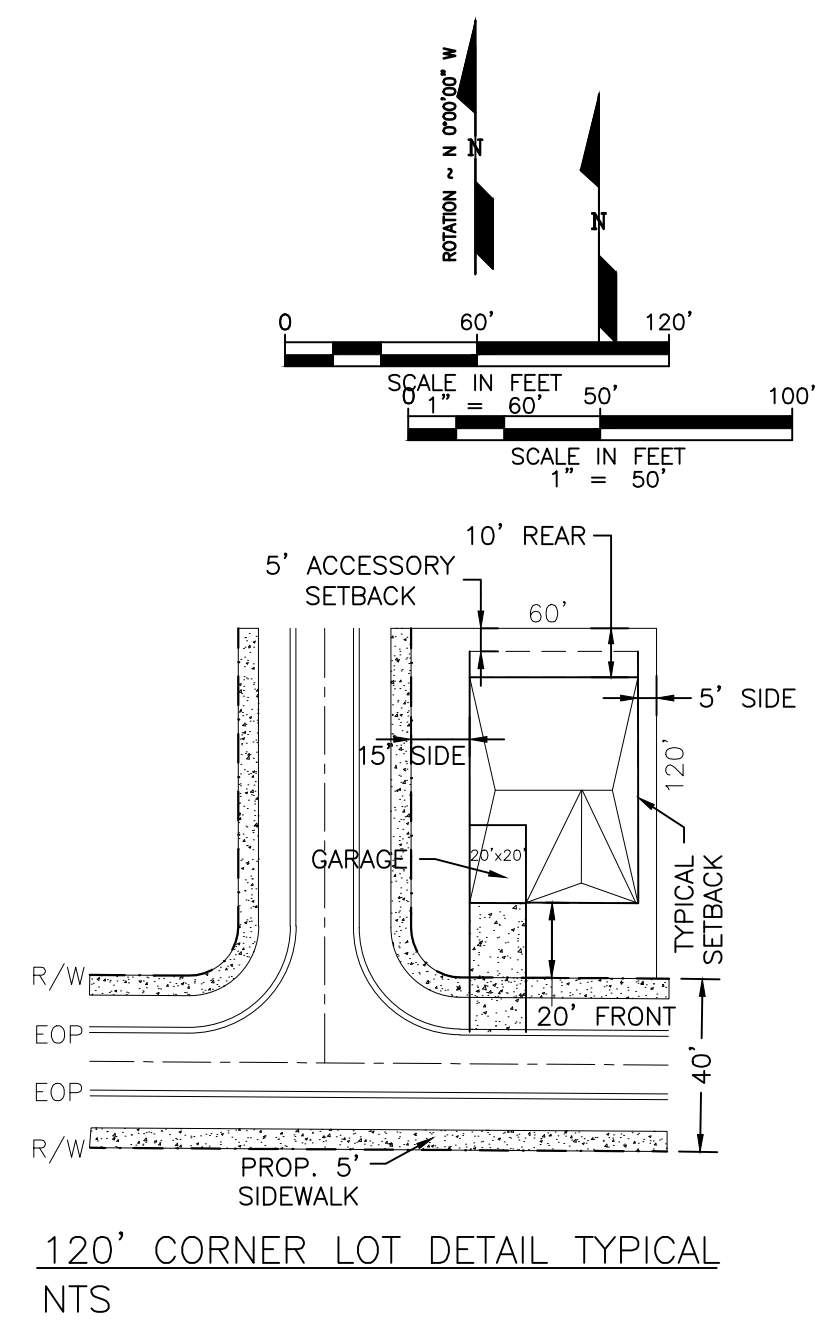
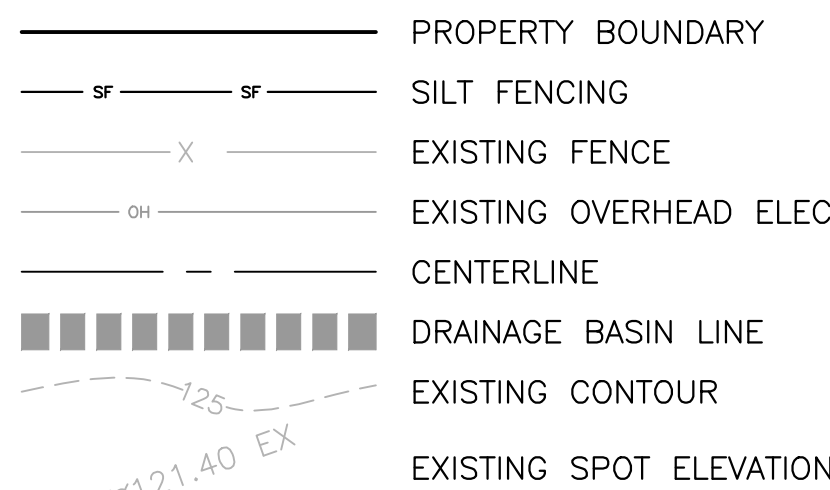
PE S-I ASPHALT = 1.50 X 0.44 = NTS ALL ROADWAYS TO BE PRIVATE

$$\text{LBR } 100 - 6.00 \times 0.18 = 1.08$$


DEVELOPMENT NOTES:

1. THIS PROJECT WILL BE DEVELOPED IN 1 PHASE.
2. ALL INTERNAL STREETS SHALL BE PUBLIC STREETS.
3. SOLID WASTE WILL BE SERVED BY CURBSIDE PICKUP.
4. ALL SANITARY SEWER MAIN LINES AND MANHOLES SHALL BE DEDICATED TO THE CITY OF DELTONA.
5. ALL POTABLE WATER MAIN LINES SHALL BE DEDICATED TO THE CITY OF DELTONA.
6. UNDERGROUND UTILITIES WILL BE REQUIRED TO SERVE THIS PROJECT.
7. STORM WATER TRACTS SHALL BE OWNED AND MAINTAINED BY THE HOA.
8. RECREATION/OPEN SPACE TRACTS SHALL BE OWNED AND MAINTAINED BY THE HOA.
9. PROJECT WILL REQUIRE A ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT CONSTRUCTION PERMIT.
10. ALL STRUCTURES AND PIPES WITHIN THE ON-SITE DRAINAGE EASEMENTS ARE TO BE OWNED AND MAINTAINED BY THE HOA.
11. ALL ON-SITE DRAINAGE EASEMENTS WITHIN LOT AREAS SHALL BE OWNED BY RESPECTIVE LOT OWNER.
12. MAILBOX LOCATION WILL BE DESIGNED AT TIME OF FINAL ENGINEERING PER THE US POST OFFICE REQUIREMENTS.

LINE LEGEND

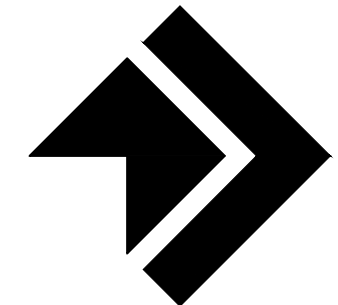


120' TYPICAL LOT DETAIL

NTS

[illegible]

Landmark
ENGINEERING GROUP
600 N BROADWAY AVE SUITE 301
BARTOW, FL 33630
(889) 422-5517
CIVIL ENGINEERING AND LAND PLANNING
FLORIDA DESIGN FIRM REGISTRATION NUMBER CA-38159



THIS ITEM HAS BEEN INTERNALLY SIGNED
AND SEALED BY SURENDRA K. GANDH,
PE ON THE DATE ADJACENT TO THE
SAL

PRELIMINARY

SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

SITE PLAN
PINE RIDGE CITY OF DELTONA

DATE: 10/6/2025
DRAWN BY: DMH
DESIGNED BY: DMH
CHECKED BY:

3.0

18FL003