

DELTONA APARTMENTS

2932 CARDINAL STREET. DELTONA, FL 32738

MULTIFAMILY RESIDENTIAL (DWELING UNITS): 16 UNITS
TOTAL PROJECT ACRES: 0.81± ACRES (35,325 SF)
TOTAL ON-SITE PROPOSED IMPERVIOUS AREA: 16,400 SF (46.42%)
PARCEL ID: 813074420300
ZONING: RM-2 (MULTIPLE FAMILY RESIDENTIAL)
FUTURE LAND USE: RESIDENTIAL HIGH DENSITY

SCOPE OF WORK

THIS PROJECT CONSISTS OF THE DESIGN AND PREPARATION OF SITE AND LANDSCAPE PLANS FOR A MULTI-FAMILY HOUSING CONSTRUCTION PROJECT IN THE CITY OF DELTONA, FLORIDA. THE PROPOSED BUILDING INCLUDES MULTI-FAMILY RESIDENTIAL UNITS DISTRIBUTED OVER THREE FLOORS.

THE SCOPE OF WORK COVERS THE SITE PLANNING, GRADING LAYOUT, DRAINAGE COORDINATION, PARKING CONFIGURATION, PEDESTRIAN CIRCULATION, UTILITY CONNECTIONS, AND LANDSCAPE DESIGN, INCLUDING THE SELECTION AND PLACEMENT OF PLANT MATERIALS, IRRIGATION LAYOUT, AND COMPLIANCE WITH ALL APPLICABLE CITY OF DELTONA LANDSCAPE AND BUFFERING REQUIREMENTS.

ALL DRAWINGS ARE PREPARED IN ACCORDANCE WITH THE CITY OF DELTONA LAND DEVELOPMENT CODE, THE FLORIDA BUILDING CODE (2023), AND OTHER APPLICABLE STATE AND LOCAL REGULATIONS.

GENERAL NOTES

- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE **FLORIDA BUILDING CODE 2023** AND **CITY OF DELTONA LAND DEVELOPMENT CODE**.
- NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE CITY.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION.



1 LOCATION MAP

1" = 160'-0"

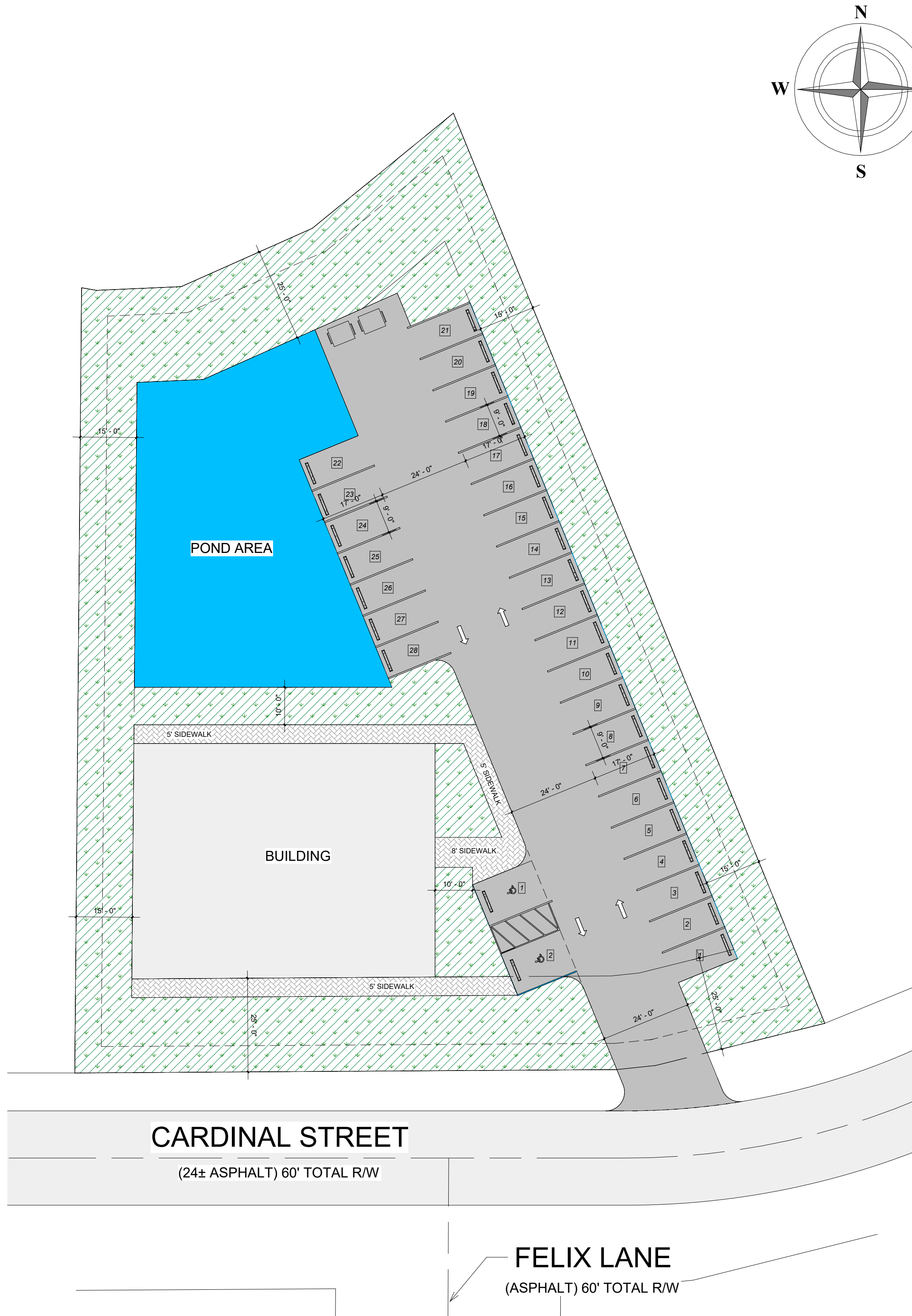
SHEET INDEX	
No.	SHEET NAME
1.0	COVER SHEET
2.0	SITE PLAN
3.0	LANDSCAPE AREAS

REVISIONS	
DATE	DESCRIPTION

DATE:	SEP 2025
DRAWN BY:	CARLOS R
SCALE:	AS INDICATED

Sheet Title:
COVER SHEET

1.0



1 SITE PLAN
3/64" = 1'-0"

CODE NOTES

- THE MINIMUM PAVEMENT WIDTH FOR THE TWO-WAY ACCESS SHALL BE 24 FEET.
- MAXIMUM DENSITY: 20 DWELLING UNITS/ACRE. - MINIMUM DENSITY: 12 DWELLING UNITS/ACRE.
- THE MAXIMUM BUILDING LOT COVERAGE ALLOWED IS 40%
- MINIMUM FLOOR AREA EXCLUSIVE OF TERRACES, ATTACHED ROOFED-OVER PORCHES, CARPORTS, PATIOS, ATTACHED GARAGES, AND UTILITY ROOMS. 600 SQUARE FEET NET LIVING AREA —ONE-BEDROOM APARTMENTS; 750 SQUARE FEET NET LIVING AREA — TWO-BEDROOM APARTMENTS; 800 SQUARE FEET NET LIVING AREA THREE OR MORE-BEDROOM APARTMENTS.
- THE FIRST FLOOR OF EACH MULTIPLE FAMILY DWELLING BUILDING MUST BE CONCRETE.
- EACH UNIT MUST HAVE AN IN-UNIT WASHER/DRYER AND AN INDEPENDENT BALCONY. ALL BALCONIES SHALL BE A MINIMUM OF 54 SQUARE FEET OF CLEAR, UNOBSTRUCTED SPACE, AT LEAST SIX FEET IN DEPTH.
- ENHANCED LANDSCAPING TO INCLUDE A MINIMUM-TEN-FOOT PLANTING AREA FOR BUILDING FOUNDATION LANDSCAPING.
- MINIMUM EIGHT-FOOT-WIDE SIDEWALKS.
- ALL PARKING AND LOADING AREAS SHALL BE CONSTRUCTED WITH A SIX-INCH RAISED CURB OR BUMPER BLOCKS LOCATED A MINIMUM DISTANCE OF SEVEN FEET BEHIND THE STREET RIGHT-OF-WAY LINE AND OTHER PROPERTY LINES.
- THE AREA COVERED BY STRUCTURES AND IMPERVIOUS SURFACE SHALL NOT EXCEED 60 PERCENT FOR RESIDENTIAL LOTS.

AREAS SCHEDULE		
AREA	SQ FT	%
BUFFER	12,405 ft²	35.12%
BUILDING	5,041 ft²	14.27%
BUILDING LANDSCAPE	1,426 ft²	4.04%
DUMPSTER	222 ft²	0.63%
GREEN AREA	294 ft²	0.83%
PARKING	9,813 ft²	27.78%
POND	4,800 ft²	13.59%
SIDEWALK	1,323 ft²	3.74%
TOTAL AREA	35,325 ft²	100.00%
IMPERVIOUS	16,400 ft²	46.42%
PERVIOUS	18,926 ft²	53.58%

PARCEL ID

813074420300

ZONING AND FUTURE LAND USE

EXISTING ZONING: RM-2 - MULTIPLE FAMILY RESIDENTIAL
FUTURE LAND USE: RESIDENTIAL HIGH DENSITY (12.1 - 20 UNITS / ACRE)

UTILITIES

ELECTRIC: FLORIDA POWER & LIGHT - VOULSIA
POTABLE WATER: DELTONA WATER
GAS UTILITY: FL PUBLIC UTILITIES
SANITARY SEWER: DELTONA WATER
TELEPHONE: AT&T
INTERNET: CENTURYLINK

BUILDING

MAX. HEIGH: 80 FT
PROPOSED BUILDING HEIGHT: 3 FLOORS
PROPOSED DWELLINGS UNITS: 16

DWELLING UNITS PROPOSED

2-BEDROOM OR MORE UNITS: 6
1-BEDROOM + OFFICE UNITS: 10
TOTAL UNITS: 16

SITE LEGEND

- ASPHALT PAVEMENT
- SIDEWALKS
- GREEN AREA
- RETENTION POND

NOTES

- ALL EXISTING OVERHEAD POWERLINES WILL BE RELOCATED UNDERGROUND IN COMPLIANCE WITH PROJECT REQUIREMENTS AND APPLICABLE REGULATIONS. THE NECESSARY MEASURES WILL BE IMPLEMENTED TO ENSURE PROPER INSTALLATION AND INTEGRATION WITH THE EXISTING INFRASTRUCTURE.
- STREET RIGHTS-OF-WAY IS COMMON AREA.
- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE CITY OF DELTONA LAND DEVELOPMENT CODE AND VOLUSIA COUNTY CODE OF ORDINANCES.
- OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF BOTH NEW AND REPLACEMENT QUADRANT STREET SIGNS.
- DESIGNED FOLLOWING THE 8TH EDITION 2023 FLORIDA BUILDING CODE REQUIREMENTS.

PARKING REQUIREMENTS - MULTIFAMILY

ACCORDING WITH CITY OF DELTONA LDC TABLE 110-9 MINIMUM OFF-STREET PARKING SPACES, FOR MULTIFAMILY USE, FOR EACH 1-BEDROOM + STUDIO DWELLING UNIT SHALL BE PROVIDE 1.5 SPACES + 1 SPACE PER 10 DWELLING UNITS FOR GUEST PARKING. AND FOR EACH 2-BEDROOM OR MORE DWELLING UNIT SHALL BE PROVIDE 2 SPACES + 1 SPACE PER 10 DWELLING UNITS FOR GUEST PARKING.

1-BEDROOM + OFFICE DWELING UNITS PROPOSED: 10
PARKING SPACES REQUIRED FOR 1-BEDROOM DWELING UNITS FOR RESIDENTS: 10 × 1.5 = 15
PARKING SPACES REQUIRED FOR 1-BEDROOM DWELING UNITS FOR GUEST: 1

2-BEDROOMS OR MORE DWELING UNITS PROPOSED: 6
PARKING SPACES REQUIRED FOR 2-BEDROOM OR MORE DWELING UNITS FOR RESIDENTS: 6 × 2 = 12
PARKING SPACES REQUIRED FOR 1-BEDROOM DWELING UNITS FOR GUEST: 0

TOTAL PARKING SPACES FOR DWELING UNITS REQUIRED
15 + 1 + 12 + 0 = 28 UNITS

PARKING REQUIREMENTS - ADA

ACCORDING WITH CITY OF DELTONA LDC TABLE 110-10 MINIMUM REQUIREMENTS FOR OFF-STREET HANDICAPPED PARKING, IF 26 TO 50 PARKING SPACES ARE PROPOSED, 2 ADA SPACES MUST BE PROVIDED.

PARKING SPACES		
TYPE	SIZE	QTY
PARKING SPACE	9' X 17' @ 90° PARKING ANGLE	28
ADA PARKING SPACE	12' + 5' X 17' @ 90° PARKING ANGLE	2

VEHICLE RESERVOIR AREA REQUIREMENTS - RESIDENTIAL

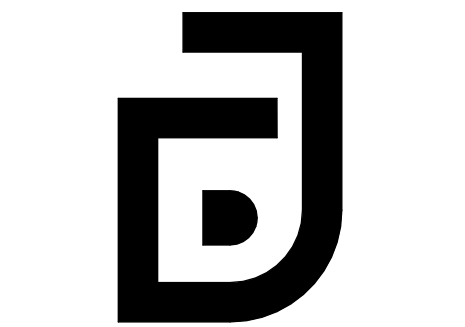
ACCORDING WITH CITY OF DELTONA LDC TABLE 110-13 VEHICLE RESERVOIR AREA REQUIREMENTS, FOR SELF-PARKING RESIDENTIAL, SHALL BE PROVIDE 5 SPACES OR 1% OF THE TOTAL PARKING CAPACITY (USE THE GREATER FIGURE).

TOTAL PARKING SPACES PROVIDED= 28
36 × 0.01 = 1

TOTAL VEHICLE RESERVOIR SPACES REQUIRED = 5 UNITS

PARKING NOTES

- THE MINIMUM SIZE OF A PARKING SPACE SHALL BE 9 FEET × 19 FEET STANDARD SPACE
WHERE WHEELS STOPS ARE USED WITH A PARKING SPACE, A MAXIMUM LENGTH OF TWO FEET AS MEASURED WITH THE BUMPER OVERHANG AREA MAY BE SODDED; PROVIDED THIS AREA IS CONNECTED TO AND PART OF A LARGER LANDSCAPED AREA THAT IS NOT PART OF A STORMWATER MANAGEMENT FACILITY.
- HANDICAP PARKING SPACES SHALL BE A MINIMUM OF 12 FEET × 19 FEET WITH A FIVE-FOOT WIDE STRIPED ACCESS AISLE. WHERE TWO HANDICAP SPACES ARE SERVED BY ONE ACCESS AISLE, SUCH AISLE SHALL BE NO WIDER THAN EIGHT FEET. THE CITY CODE DESIGNATES THE MINIMUM REQUIRED NUMBER OF HANDICAP SPACES. APPLICANTS ARE ENCOURAGED TO PROVIDE ADDITIONAL HANDICAP SPACES, WHEN DEEMED APPROPRIATE TO MEET PROJECTED NEED.
- A RESERVOIR AREA SHALL BE DESIGNED TO INCLUDE A SPACE OF 12 FEET WIDE BY 25 FEET LONG FOR EACH VEHICLE TO BE ACCOMMODATED WITHIN THE RESERVOIR AREA.



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OWNER/ADDRESS

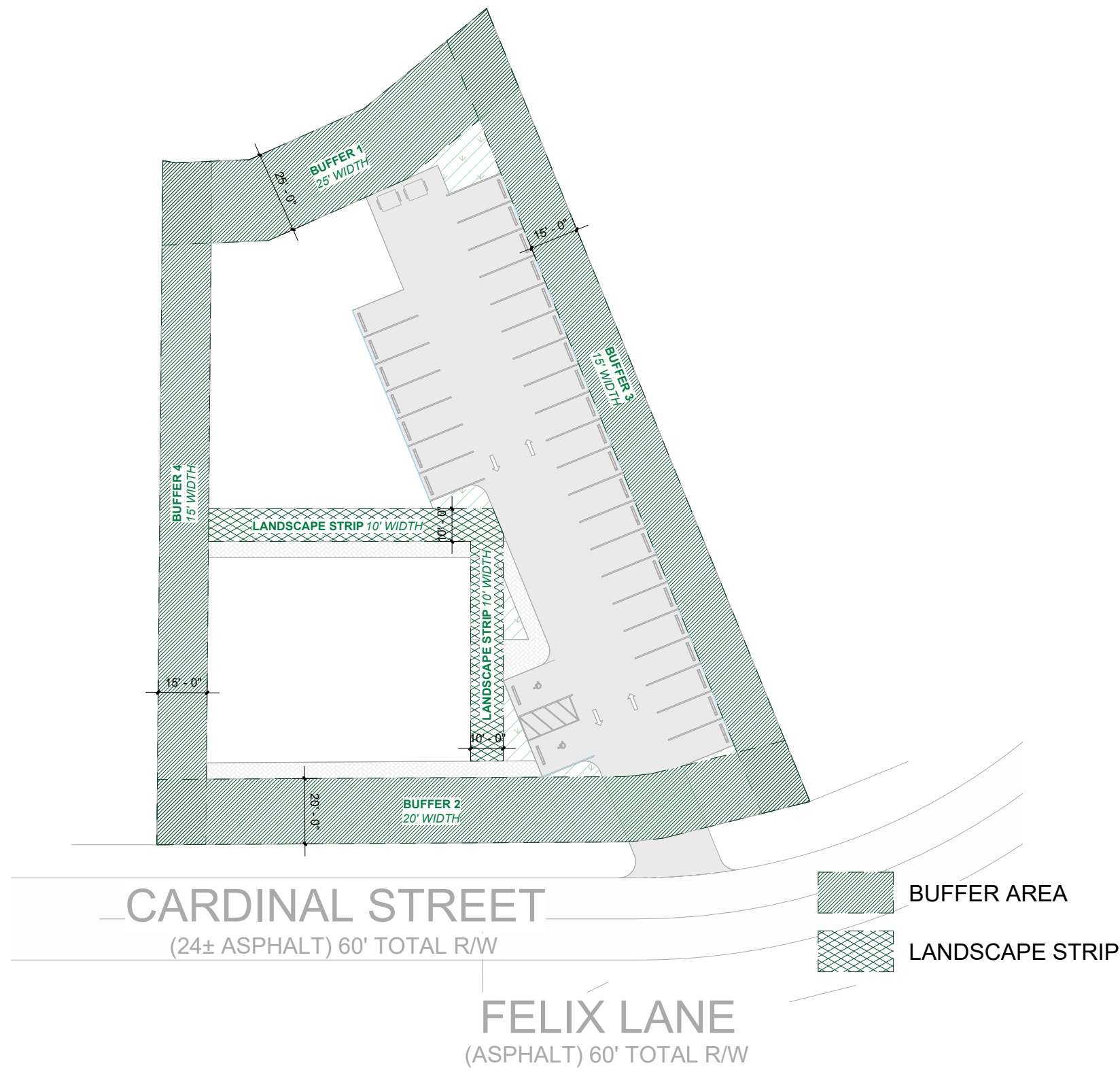
SIGNED:

This item has been digitally signed and sealed by Rodrigo M. Depaula, P.E. on the date shown on the stamp. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

REVISIONS	
DATE	DESCRIPTION
DATE:	SEP 2025
DRAWN BY:	CARLOS R
SCALE:	AS INDICATED
Sheet Title: SITE PLAN	

2.0

Project No: 25-588



1 BUFFER AREA

1" = 40'-0"

LANDSCAPE

BUFFER

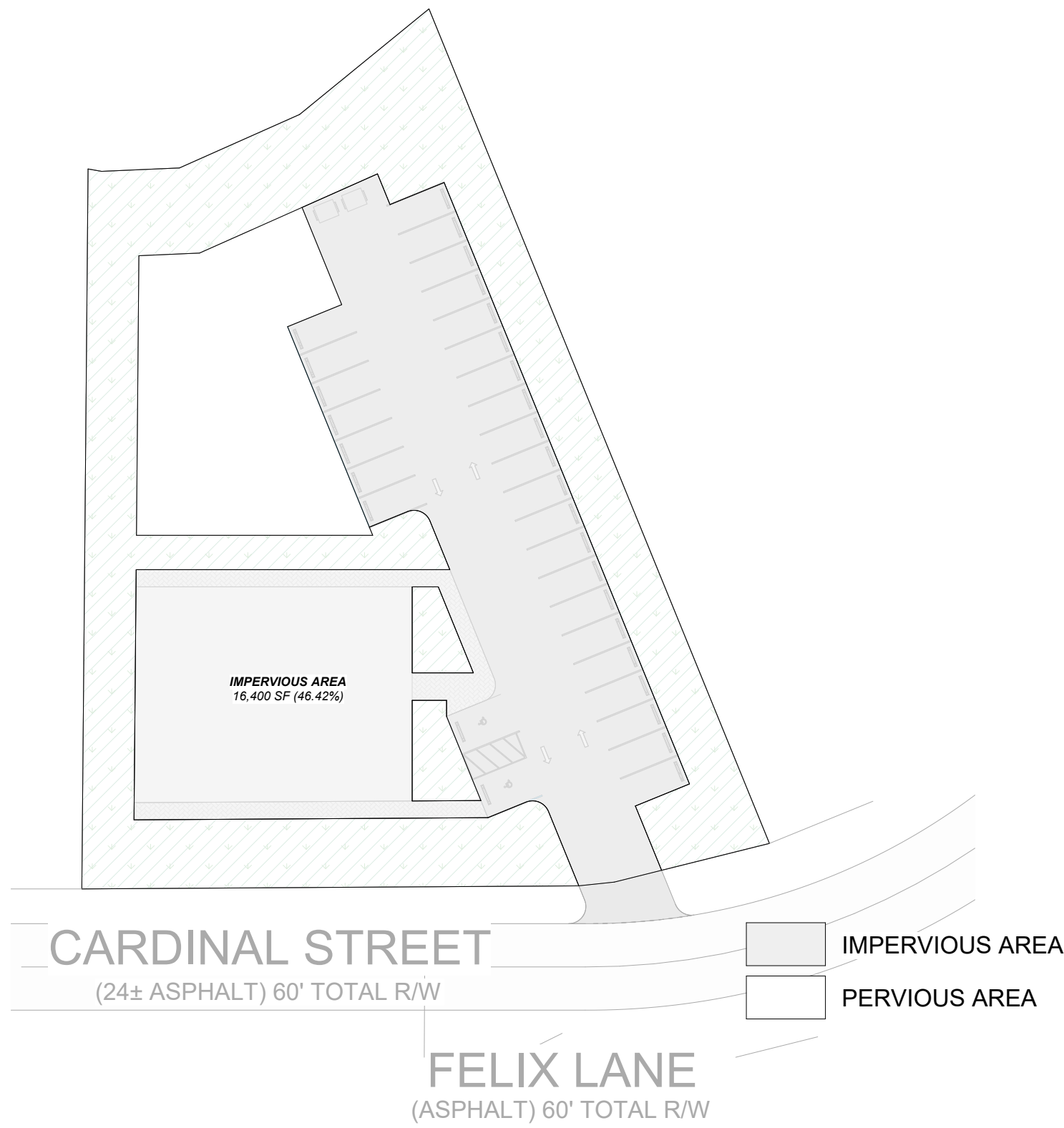
- PER CITY OF DELTONA LDC SEC. 98-53(A)**
A WETLAND PROTECTION ZONE WITH A MINIMUM WIDTH OF **25 FEET** SHALL BE ESTABLISHED ADJACENT TO AND SURROUNDING ALL WETLANDS ONE-THIRD ACRE OR GREATER IN SIZE.
- PER CITY OF DELTONA LDC SEC. 110-808(E)(5)B**
MULTIFAMILY DEVELOPMENTS SHALL PROVIDE A MINIMUM LANDSCAPE BUFFER OF **20 FEET** ALONG ALL STREET FRONTAGES.
- PER CITY OF DELTONA LDC SEC. 110-808(E)(7)A.2**
A LANDSCAPED AREA OF NOT LESS THAN **15 FEET** IN WIDTH, MEASURED PERPENDICULAR TO THE PROPERTY LINE, SHALL BE PROVIDED ALONG THE PERIMETER OF MULTIFAMILY DEVELOPMENTS.

BUFFER PROPOSED

NORTH - BUFFER 1: 25' WIDTH
SOUTH - BUFFER 2: 20' WIDTH
EAST - BUFFER 3: 15' WIDTH
WEST - BUFFER 4: 15' WIDTH

LANDSCAPE STRIP

- PER CITY OF DELTONA LDC SEC. 110-311(J)(6)**
ENHANCED LANDSCAPING TO INCLUDE A MINIMUM TEN FEET PLANTING AREA FOR BUILDING FOUNDATION LANDSCAPING



2 IMPERVIOUS AREA

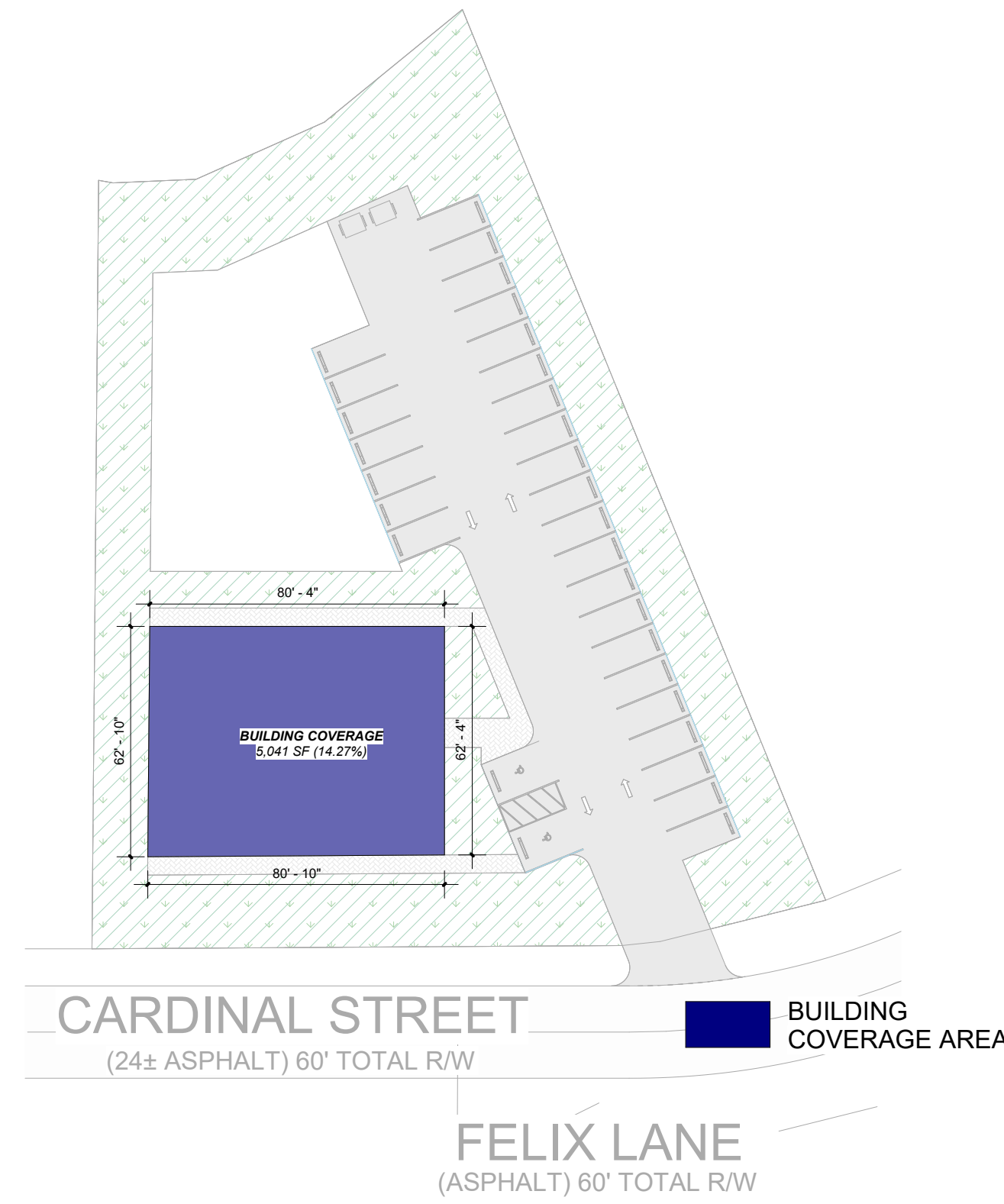
1" = 40'-0"

IMPERVIOUS AREA

PER CITY OF DELTONA LAND DEVELOPMENT CODE, **SEC. 110-829(K)(1)**, FOR RESIDENTIAL LOTS, THE COMBINED AREA OF ALL STRUCTURES AND IMPERVIOUS SURFACES SHALL **NOT EXCEED 60%** OF THE TOTAL LOT AREA.

LOT AREA= 47,779 SF
MAXIMUM IMPERVIOUS AREA (60%)
47,779 X 0.6 = **28,667 SF**

IMPERVIOUS AREA PROPOSED= 21,780 SF (46%)



3 LOT COVERAGE

1" = 40'-0"

LOT COVERAGE

PER CITY OF DELTONA LAND DEVELOPMENT CODE, FOR PROPERTIES ZONED **RM-2 (MULTIPLE FAMILY RESIDENTIAL DWELLING)**, THE MAXIMUM LOT COVERAGE, INCLUDING BOTH PRINCIPAL AND ACCESSORY STRUCTURES, SHALL **NOT EXCEED 40%** OF THE TOTAL LOT AREA.

LOT AREA= 47,779 SF
MAXIMUM LOT COVERAGE (40%)
47,779 X 0.4 = **19,111 SF**

LOT COVERAGE PROPOSED= 8,434 SF (18%)

REVISIONS	
DATE	DESCRIPTION

DATE:	OCT 2025
DRAWN BY:	CARLOS R
SCALE:	AS INDICATED

Sheet Title:
LANDSCAPE AREAS

3.0