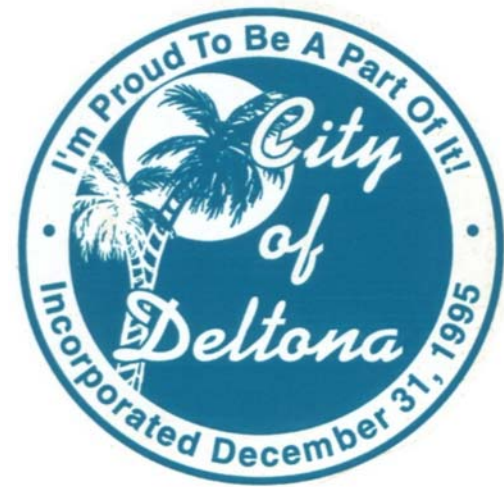




City of
DELTONA
URBAN DESIGN PATTERN BOOK



**CITY OF DELTONA
URBAN DESIGN PATTERN BOOK**



Prepared by:



planning, landscape architecture
& environmental graphics
423 south keller road, suite 300
Orlando, fl 32810

Technical support provided by:

*City of Deltona
&
The Scott Partnership*

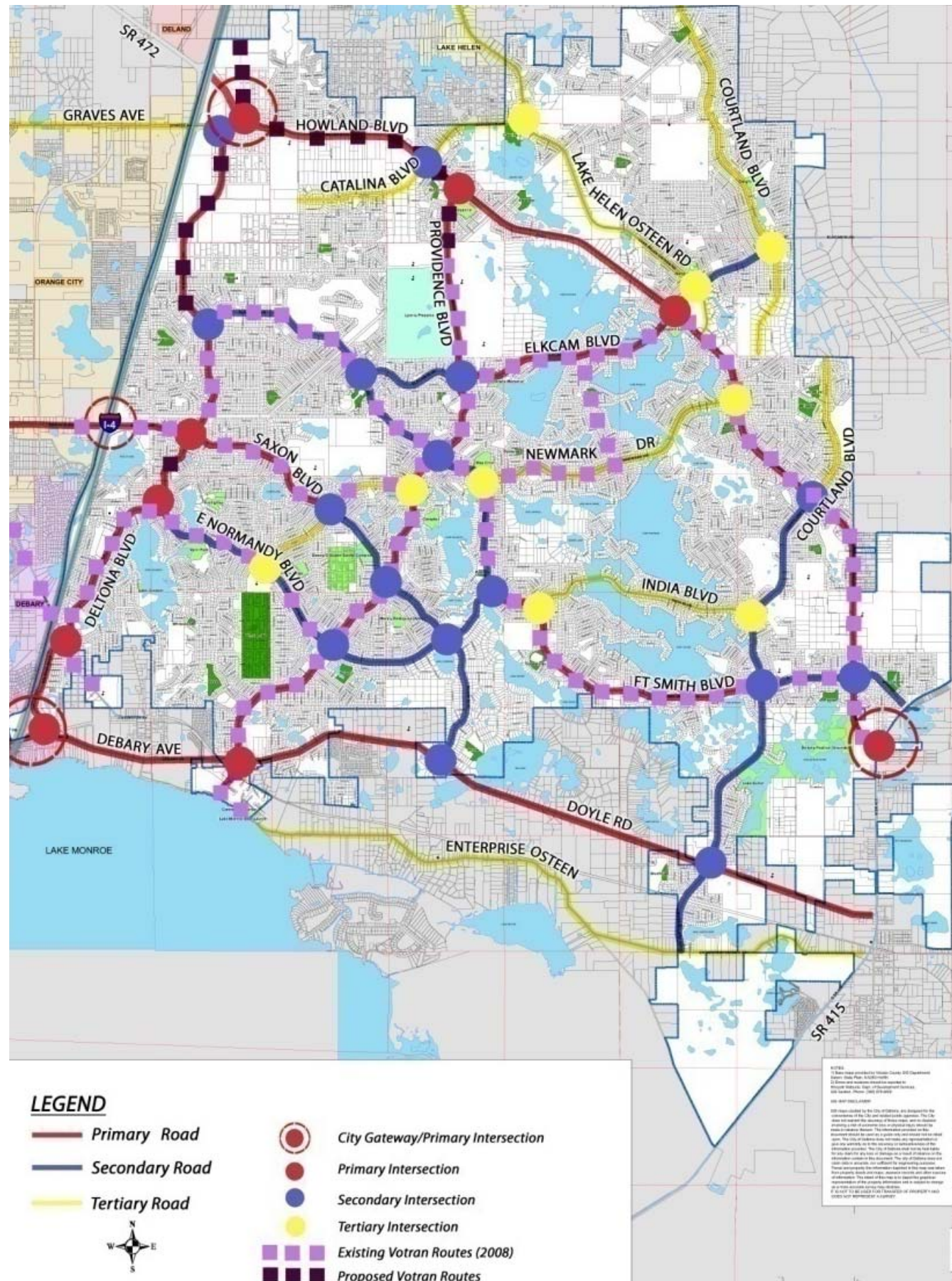
*Adopted
August 4, 2008*

TABLE OF CONTENTS

1.0 INTRODUCTION	1
1.1 Background	1
1.2 Nature Theme	1
1.3 Urban Design Pattern Book	1
2.0 PUBLIC URBAN DESIGN STANDARDS	2
2.1 Purpose and Applicability	2
2.2 Crosswalk and Intersection	2
2.2.1 Pedestrian Landing	2
2.2.2 Handicap Ramps at Pedestrian Landings	3
2.2.3 Pedestrian Crosswalks	3
2.2.4 Primary Intersection Center Treatment	3
2.3 Decorative Paving	3
2.4 Traffic Signals	4
2.5 Lighting	4
2.6 Landscaping/Streetscaping	4
2.6.1 Streetscape	5
2.6.2 Landscaped Medians	5
2.6.3 Intersections	5
2.6.4 Parks and Public Gathering Areas	6
2.6.5 Wet and Dry Retention Ponds	7
2.7 Site Furnishings	7
2.8 Transit Shelter Locations	7
2.9 Public Signage	8
2.10 Gateways	8
3.0 PRIVATE URBAN DESIGN STANDARDS	9
3.1 Purpose and Applicability	9
3.2 Architectural Styles	9
3.2.1 Mediterranean Style	11
3.2.1.1 Building Materials	11
3.2.1.2 Exterior Colors	11
3.2.1.3 Architectural Details	11
3.2.1.4 Roof Shapes	12

3.2.2	Florida Vernacular Style	13
3.2.2.1	Building Materials	13
3.2.2.2	Exterior Colors	13
3.2.2.3	Architectural Details	13
3.2.2.4	Roof Shapes	14
3.2.3	Classical Style	15
3.2.3.1	Building Materials	15
3.2.3.2	Exterior Colors	15
3.2.3.3	Architectural Details	15
3.2.3.4	Roof Shapes	16
3.3	Building Design	17
3.3.1	Building Mass and Facades	17
3.3.2	Accessory Buildings	17
3.3.3	Doors, Windows and Storefronts	17
3.3.4	Awnings, Canopies and Arcades	18
3.4	Site Design	18
3.4.1	Site Layout	18
3.4.2	Building Placement	19
3.4.3	Outdoor Spaces	19
3.4.4	Parking	19
3.4.5	Drive-Thru Facilities	20
3.4.6	Loading Docks	20
3.4.7	Drop-Off Zones	20
3.4.8	Walkways	20
3.4.9	Fences and Walls	21
3.4.10	Site Lighting	21
3.4.11	Site Furnishings	21
3.4.12	Landscaping	22
3.4.13	Transit Amenities	23
3.5	Signage	24
3.5.1	Building Signage	24
3.5.2	Site Signage	25
4.0	DESIGN REVIEW	26

Figure 1: Roadway Hierarchy



1.0 INTRODUCTION

1.1 Background

The City of Deltona is the largest municipality within Volusia County and serves as a bedroom community for commuters to the Orlando Metropolitan Area. The City has over 85,000 residents in a 46 square mile area consisting of numerous lakes and a variety of natural resources and communities, including scrublands, sand pine communities, pine flatwoods, mixed forested hardwoods and wetlands.

The City is diverse with cultures and citizens that come together as one to keep their City beautiful, safe and well informed. On February 18, 2008, the City Commission approved the City of Deltona Community Strategic Plan, which brought together residents, business owners, community leaders and other stakeholders to create a shared vision for the City and a strategic plan called "Destination Deltona" to guide the City's future.

Vision Deltona 2026

"Deltona is a premiere City that takes pride in our neighborhoods and embraces the diversity of our residents. The caring community provides a high quality of life where the people live, work and play in a safe and secure environment. With an appreciation for our history, and our location along the St. John's River, we ensure a sustainable future through the careful stewardship of our resources."

1.2 Nature Theme

The City retained HHI Design to coordinate the strategic planning process in creating a unified theme for the City and an Urban Design Master Plan. The "Nature" theme was favored by the City Commission and the participants from the Destination Deltona Task Forces to draw on the natural features of the City and to create a "Green" identity by promoting a holistic approach to redevelopment. An Urban Design Master Plan was prepared based on this "Nature" theme to identify specific programs, projects, initiatives and implementation strategies necessary to implement the vision.

1.3 Urban Design Pattern Book

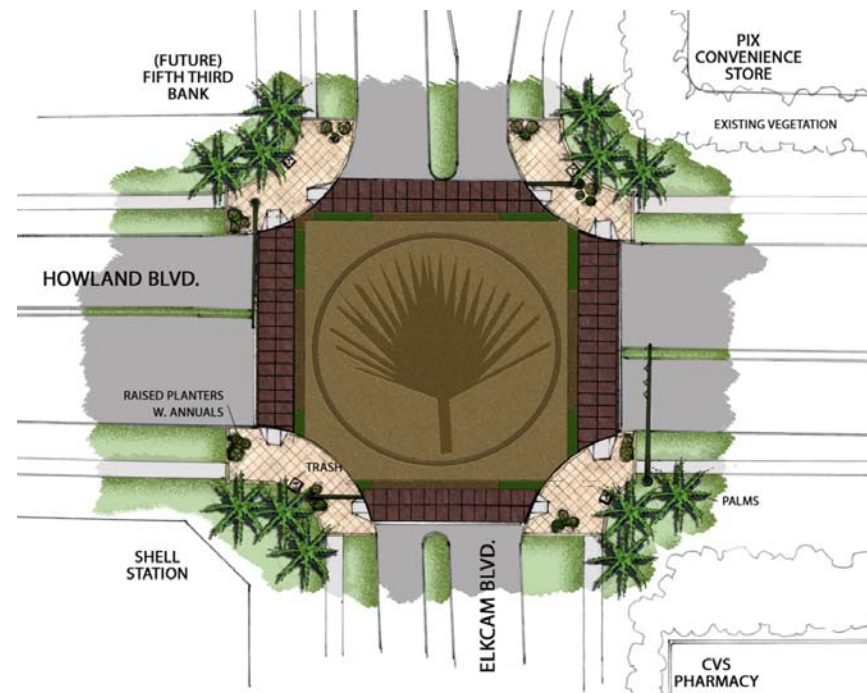
The City of Deltona Urban Design Pattern Book provides design standards to ensure that public and private development projects implement the City's vision and the framework of the Urban Design Master Plan to improve the economic development, quality of life and sense of community.

This pattern book is comprised of public and private urban design standards to guide the City, property owners and developers in site and architectural design to reinforce the citywide "Nature" theme and the various architectural styles through design uniformity and continuity to protect and improve property values and to attract reinvestment into the City. Some of the public urban design standards, such as intersection treatments, public gathering areas and landscaping may be the responsibility of private entities as part of their redevelopment project.

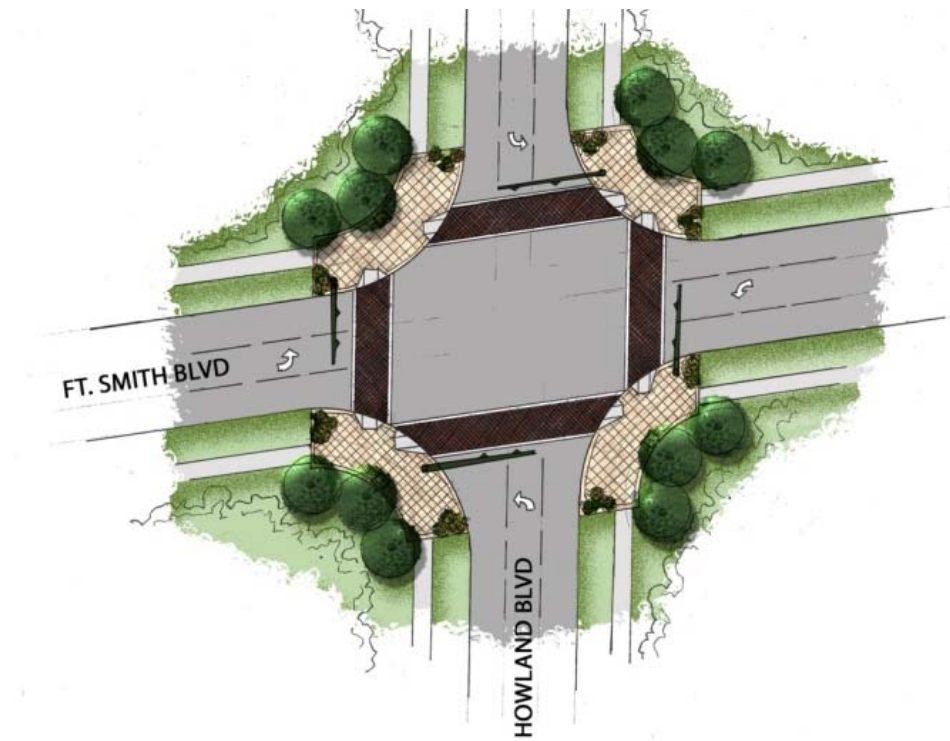
The Public Urban Design Standards are focused on strengthening the citywide image by visually unifying the primary, secondary and tertiary roadway corridors (see Figure 1) to create a "Nature" theme that is pleasant, attractive and pedestrian-friendly. Public gathering areas, such as parks, plazas, courtyards, etc. shall incorporate this thematic approach through the use of paving materials, landscaping, lighting, site furnishings and signage.



Figure 2: Crosswalks & Intersection Treatments



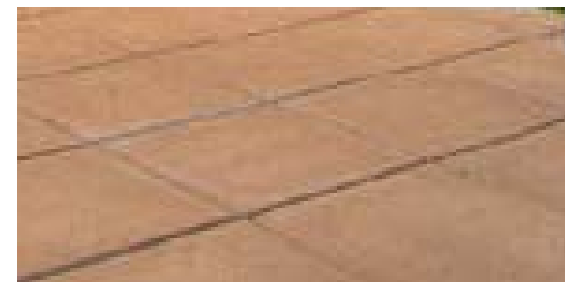
Primary Intersection



Secondary Intersection



Tertiary Intersection



Stamped Color Concrete



Summer Beige
(Pedestrian Landings)



Coral Red
(Crosswalks)



Adobe Tan
(Center Icon)



Dark Grey
(Detectable Warning Tile)

The Private Property Design Standards are focused on guiding new and existing property owners to develop their properties in a manner consistent with the architectural styles of the City, such as: Mediterranean, Florida Vernacular and Classical, which will distinguish the City of Deltona as a unique and desirable community in which to live, work and play.

The standards of this Urban Design Pattern Book shall be used in addition to any other requirements of the Land Development Code, Zoning Code and Ordinances of the City of Deltona, and all applicable Building Codes. Please refer to the City codes and ordinances, as they may be amended from time to time. However, to the extent that any provisions of the Public and Private Urban Design Standards conflict with another code or ordinance, the greater standard shall apply.

2.0 PUBLIC URBAN DESIGN STANDARDS

2.1 Purpose and Applicability

The Public Urban Design Standards are focused on strengthening the citywide "Nature" theme by visually unifying the streetscape elements within the right-of-ways, such as: crosswalks/intersection treatments, decorative paving, traffic signals, lighting, landscaping, site furnishings, transit facilities, public signage and gateways. Design and construction of the streetscape shall comply with the Florida Department of Transportation (FDOT) Engineering Standards Manual and must be scheduled and/or phased to keep pedestrians and vehicle movement disruptions to a minimum. Coordination with utility companies, engineers, contractors, property owners, etc. are essential to assure project success.

In addition, public gathering areas, such as parks, plazas, courtyards, etc. shall also incorporate the "Nature" theme through the use of decorative paving, landscaping, lighting, site furnishings and signage.

Some of the public urban design standards, such as intersection treatments, public gathering areas and landscaping may be the responsibility of private entities as part of their redevelopment project.

2.2 Crosswalks and Intersection Treatments

The level of the intersection design depends on the roadway hierarchy with more elaborate treatments at the primary intersections than the secondary and tertiary intersections. The treatments are to enhance the visual appearance and to serve as traffic calming devices (see Figure 2).

2.2.1 Pedestrian Landings

- Pedestrian landings shall be decorative colored concrete fields with 12 inch wide concrete bands.
- The 12 inch wide concrete bands shall be 3,000 psi natural grey concrete with sponge float finish, 6 inch minimum thickness.
- The decorative colored concrete field shall be "Summer Beige" (5234), L.M. Scofield Chromix Admixture with 3,000 psi grey concrete base mix.
- The concrete field area shall be medium broom finish with 30 inch square control joint grid diagonal to intersection, 4 inch minimum thickness.

Figure 3: Identity Icons



Sandhill Crane
Howland Blvd. & Graves Ave.



Heron
Howland Blvd. & S.R. 415



Live Oak
Deltona Blvd. & Debary Ave.



Magnolia
Saxon Blvd. & N. Normandy Blvd.



Cypress
Deltona Blvd. & Enterprise Rd.



Osprey
Debary Ave. & Providence Blvd.



Gopher Tortoise
Deltona Blvd. & E. Normandy Blvd.



Scrub Jay
Howland Blvd. & Providence Blvd.



Palmetto
Howland Blvd. & Elkcarn Blvd.

Figure 4: Decorative Paving



Concrete Pavers



Permeable Clay Pavers



Ceramic Tiles



Integral Color Concrete

2.2.2 Handicap Ramps at Pedestrian Landings

- Handicap ramps and side aprons shall be provided at all intersection crosswalks per ADA code requirements.
- Base construction material of ramps and apron shall be 3,000 psi natural grey concrete with broom finish.
- Ramp surface shall be covered with dark grey color 'Surface Applied System' detectable warning tiles from *Armor-Tile*.

2.2.3 Pedestrian Crosswalks

- Pedestrian crosswalks in vehicular areas shall be decorative colored concrete with integral bands 12 inch wide.
- The 12 inch wide concrete bands shall be 4,000 psi natural grey concrete with sponge float finish, 8 inch minimum thickness.
- Crosswalk paving field and bands shall be "Coral Red" (C-22), L.M. Scofield Chromix Admixture with 4,000 psi grey concrete base mix.
- The paving field area shall be medium broom finish with 5 foot square control joint grid, 6 inch minimum thickness.

2.2.4 Primary Intersection Center Treatments

(Optional – see Figure 3)

- The primary intersections may be upgraded by providing colored decorative paving with an identity icon element in the center area.
- The paving field shall be "Adobe Tan" (C-21), L.M. Scofield Chromix Admixture with 4,000 psi grey concrete base mix.
- The paving field shall be medium broom finish with 10 foot square control joint grid, 6-inch minimum thickness with 8 inch thickened edge.
- The identity icon image shall be created by sandblasting the day after concrete pavement is installed using pattern templates for control of exposing integral aggregates, surfaces to be etched removing approximately 1/16 inch of concrete finish surface.
- The identity icons shall be flora and fauna to represent the "Nature" theme at the nine primary intersections (see Figure 3).

2.3 Decorative Paving

Decorative paving materials shall be required for walkways, courtyards, seating areas, parks and plazas. The use of brick, concrete pavers, integral color concrete, ceramic tiles, stamped concrete and similar durable materials should be considered for decorative paving applications. Permeable clay pavers shall be encouraged to promote *Green Building Design* to preserve natural water drainage, dissipate pollutants into the soil rather than carry into storm drains, and maintain retention on-site without stormwater ponds.

Highly textured materials should be avoided for areas where direct pedestrian travel is expected due to tripping hazards. Wheelchair accessibility should be considered when using decorative pavers. The colors should be earth tone to accentuate the "Nature" theme (see Figure 4).

Figure 5: Traffic Signals



Figure 6: Lighting Style



Figure 7: Character Areas Map

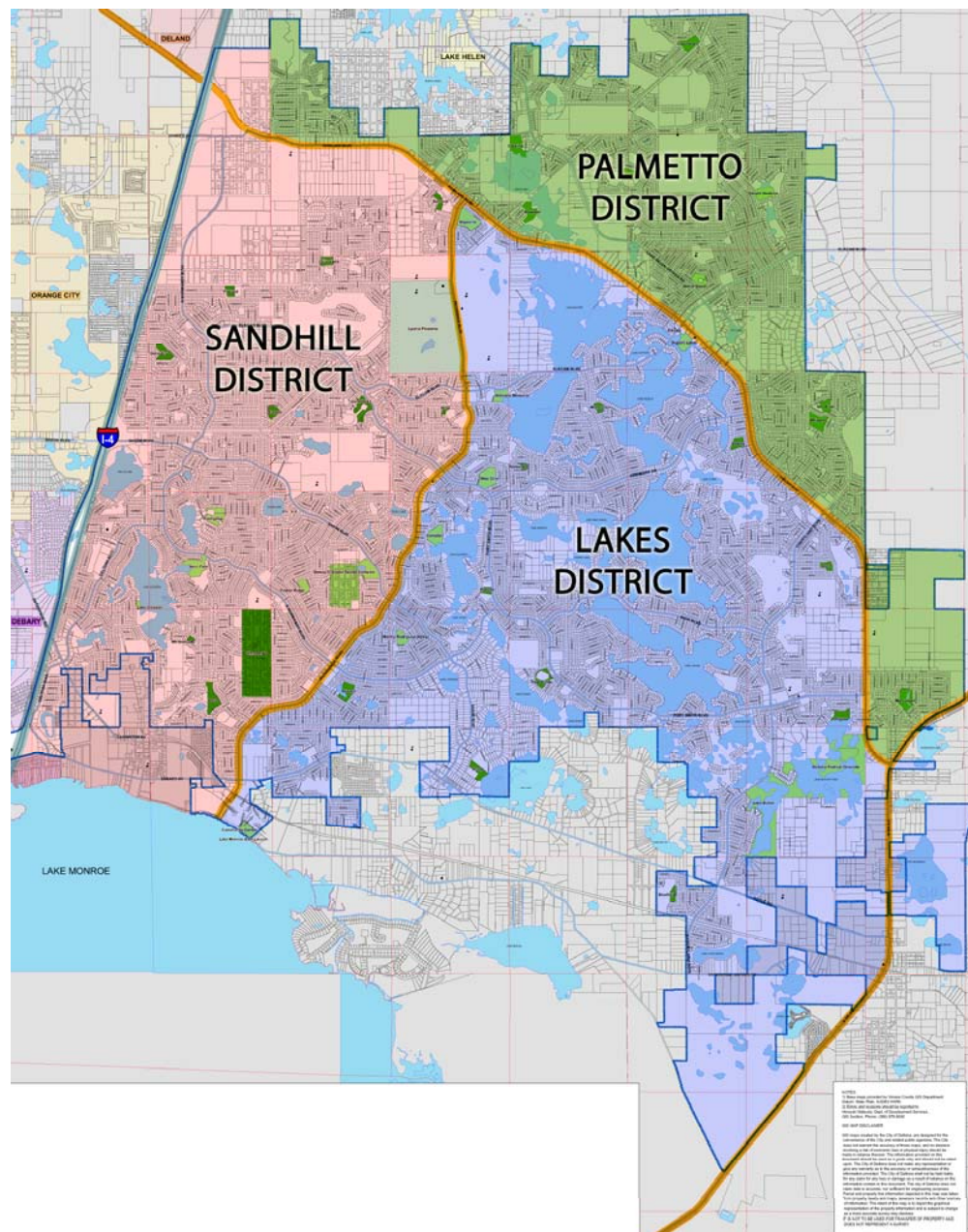
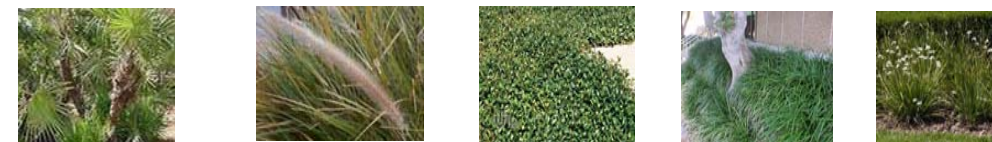


Figure 8: General Landscaping (Character Areas)

Palmetto Character Area



Green Ash *Fraxinus pennsylvani*
 River Birch *Betula nigra*
 Cherry Laurel *Prunus caroliniana*
 Savannah Holly *Ilex x attenuata 'Savannah'*
 Yellow Anise *Illicium parviflorum*
 Walter's Viburnum



Saw Palmetto *Serenoa repens*
 Green Fountain Grass *Pennisetum*
 Asian Jasmine *Trachelospermum asiaticum 'minima'*
 Giant Liriope *Liriope muscari 'Evergreen Giant'*
 African Iris *Dietes iridioides*

Lakes Character Area

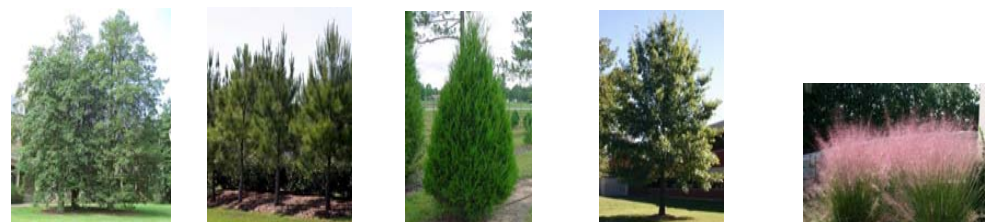


Red Maple *Acer rubrum*
 Sweetbay Magnolia *Magnolia virginiana*
 Bald Cypress *Taxodium distichum*
 Sabal Palm *Sabal palmetto*
 Dwarf Fakahatchee Grass *Tripsacum floridanum*



Spider Lily *Lycoris radiata*
 Coontie *Zamia pumila*
 Dwarf Mondo Grass *Ophiopogon japonicus*
 Canna Lily *Canna flaccida*
 Dwarf Indian Hawthorn *Rhaphiolepis indica 'Dwarf'*

Sandhill Character Area



American Holly *Ilex opaca Aiton*
 Slash Pine *Pinus elliotii*
 Southern Red Cedar *Juniperus silicicola*
 Shumard Oak *Quercus shumardii*
 Muhly Grass *Muhlenbergia capillaris*



Rusty Lyonia *Lyonia ferruginea*
 Dwarf Wax Myrtle *Morella pumila*
 Wire Grass *Aristida stricta*
 Bear Grass *Xerophyllum tenax*
 Gopher Apple *Licania michauxii*

2.4 Traffic Signals

All signalized intersections shall have mast arms unless waived by the Development Review Committee (DRC). The design, location and specifications for the traffic signal mast arms shall be in accordance with Volusia County and the Florida Department of Transportation (FDOT) Design Standards. The wind load shall be designed at 90 mph along County Roads and 130 mph along State Roads. Metal panels are plasma cut with flora and fauna underneath the mast arm intersecting the pole to accentuate the primary intersection treatments. The mast arms shall have a dark green powder coat finish, Sherwin Williams, English Ivy #2935 (see figure 5).

The controller cabinet assembly shall be a NAZTEC TS-1 and shall comply with FDOT specifications. The controller cabinet shall not impede pedestrian movement along the sidewalks and shall have a dark green powder coat finish, Sherwin Williams, English Ivy #2935.

2.5 Lighting

The streetlights and area lighting shall be consistent with the "Nature" theme by using a semi-nautical style to represent the numerous lakes and natural resources of Deltona from *Holophane Lighting Solutions - the Glaswerk II Bern* series (High Pressure Sodium - full cut-off) light fixture, the *Valencia Series* single aluminum crossarm, and a 25 foot high decorative aluminum pole. This streetlight shall be painted with a dark green powder coat finish and installed along primary, secondary and tertiary corridors (see Figure 6).

Pedestrian scale lighting with dual light fixtures similar to the style of the streetlights on 12 to 14 foot high decorative aluminum poles may be used in residential neighborhoods, public gathering areas (courtyards, plazas and parks) and urban centers to create pedestrian-friendly streets and an intimate ambience (see Figure 6).

The spacing of the streetlights and pedestrian lights shall be determined by photometric studies conducted by the lighting manufacturer or other professionals. Refer to *Ordinance No. 10-2004* for additional information.

2.6 Landscaping/Streetscaping

The landscaping will emphasize the "Nature" theme by using plant materials that are "Florida Friendly Landscape", "Xeriscape", "Firewise" and wind tolerant, and organizing them into the three character areas: 1) Palmetto; 2) Lake; and 3) Sandhill to enhance the streetscape, medians, gateways, intersections and public gathering areas (see Figures 7 & 8). The level of landscape design depends on the roadway hierarchy with more elaborate plantings at the primary intersections and corridors to minimal landscape design at the tertiary intersections and corridors.

All landscaping shall be irrigated and may be installed with moisture sensors beneath the root systems to properly gauge the watering requirements (i.e., Irrrometer). When the plants are established the irrigation system may be turned off to conserve water.

The following standards are designed to unify the roadway hierarchy and create pedestrian-friendly streets; develop pleasant/attractive park and public gathering areas; and aesthetically pleasing wet stormwater ponds.

Figure 9: Streetscape Treatments

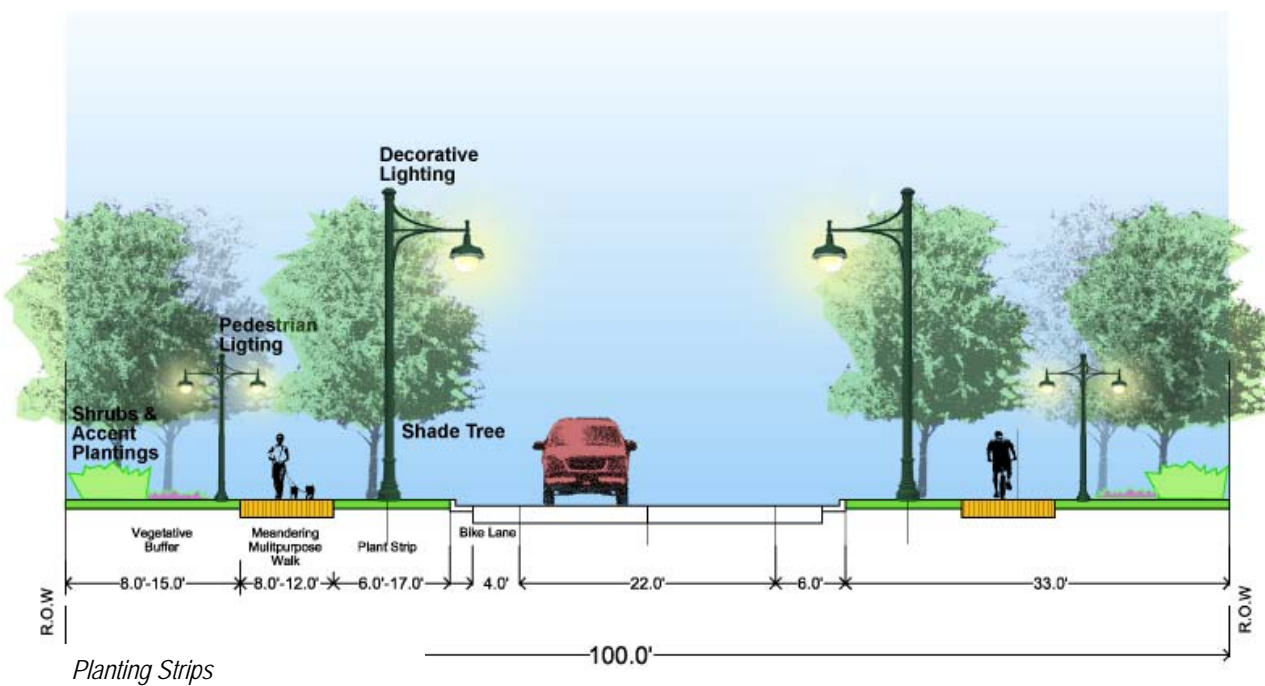


Figure 10: Median Landscaping

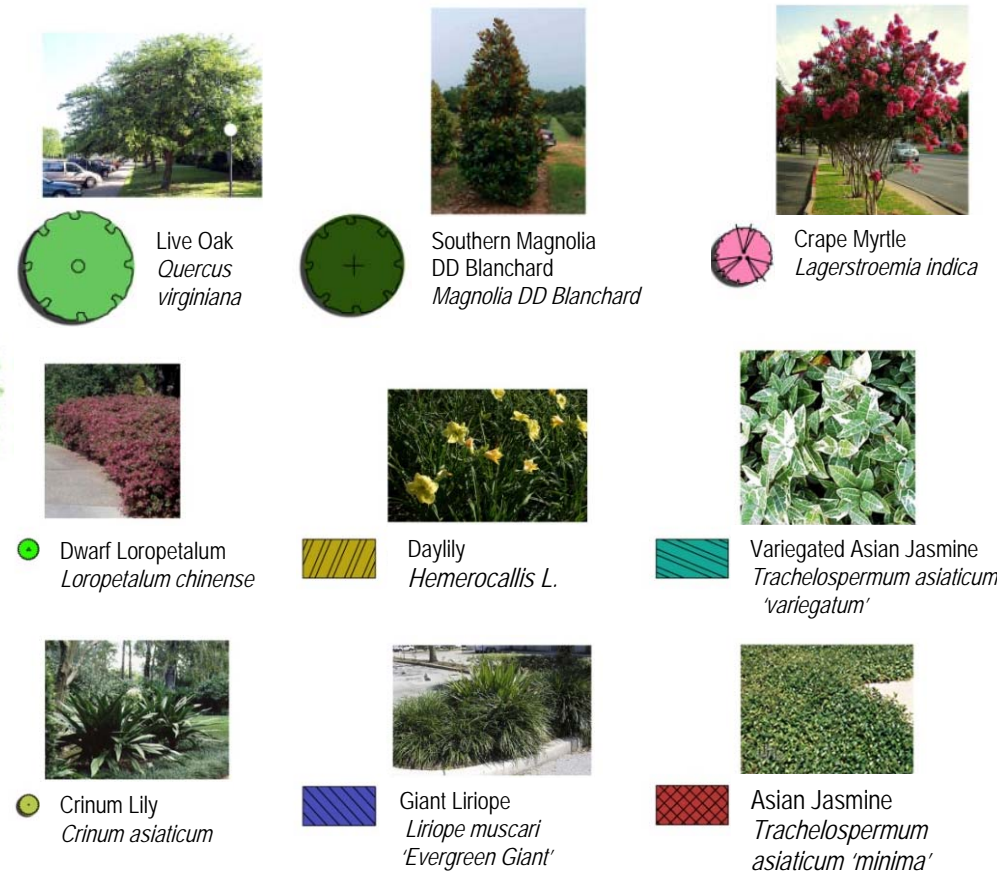
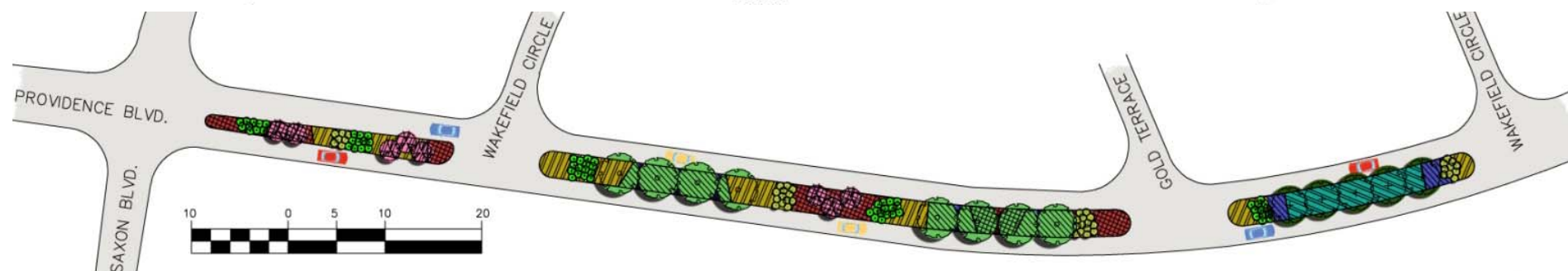
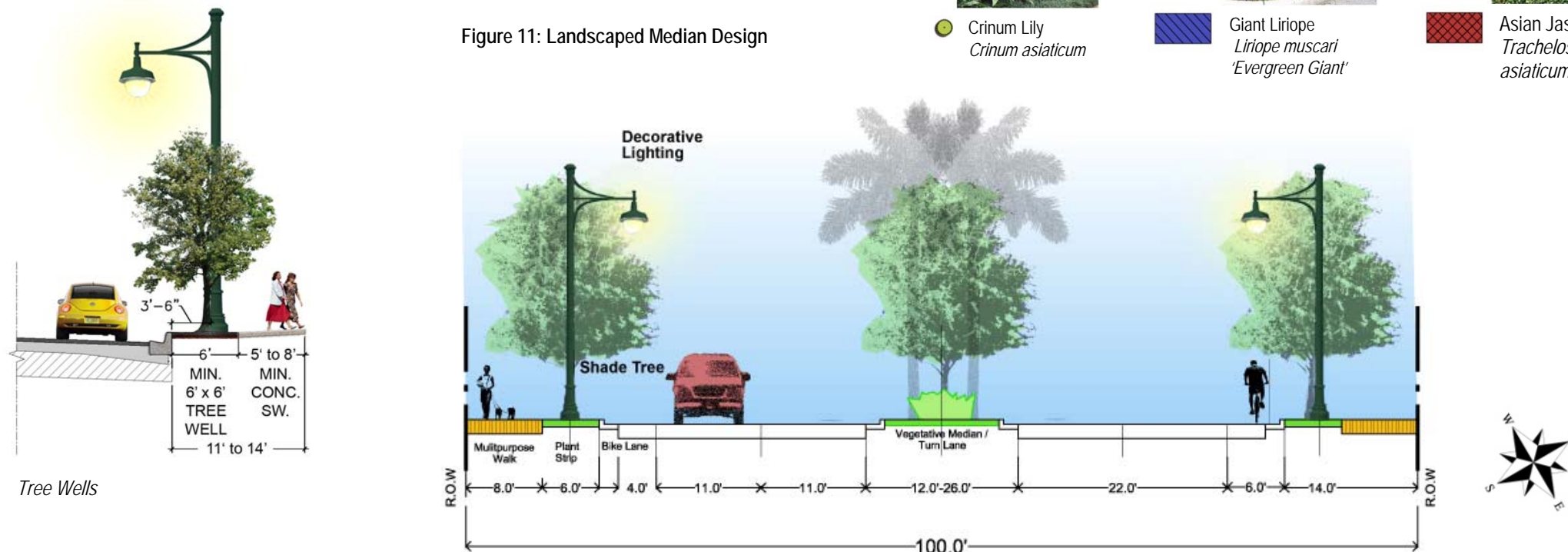


Figure 11: Landscaped Median Design



2.6.1 Streetscape (see Figure 9)

- Roadways with 100 foot right-of-ways along Primary and Secondary Roads may include bike lanes, planting strips, meandering multi-purpose walks and vegetative buffers. This streetscape design may be modified depending on the right-of-ways and may be considered for Tertiary Roads, where appropriate.
- Planting strips shall be at least 6 feet wide from back of curb.
- It may be necessary to plant street trees at back of sidewalk (where easements are available – Min. 7' wide) or plant understory trees in areas with shallow underground or above-ground utilities.
- Street trees shall be planted at least 3 feet-6 inches from back of curb.
- Tree wells shall be at least 6 feet x 6 feet in the Deltona Activity Center, urban areas, public plazas, etc.
- Canopy street trees shall be at least 14 feet high and understory street trees shall at least 8 feet high at time of installation.
- The spacing for canopy street trees shall be 40 to 50 feet on-center and understory trees shall be 30 to 35 feet on-center.
- Alternate sub-base may be used to prevent up-heaving of sidewalks (i.e., Structural Soil).
- The minimum sidewalks may be 8 feet wide along Primary Roads; 6 feet wide along Secondary Roads; and 5 wide along Tertiary Roads and all other local roads

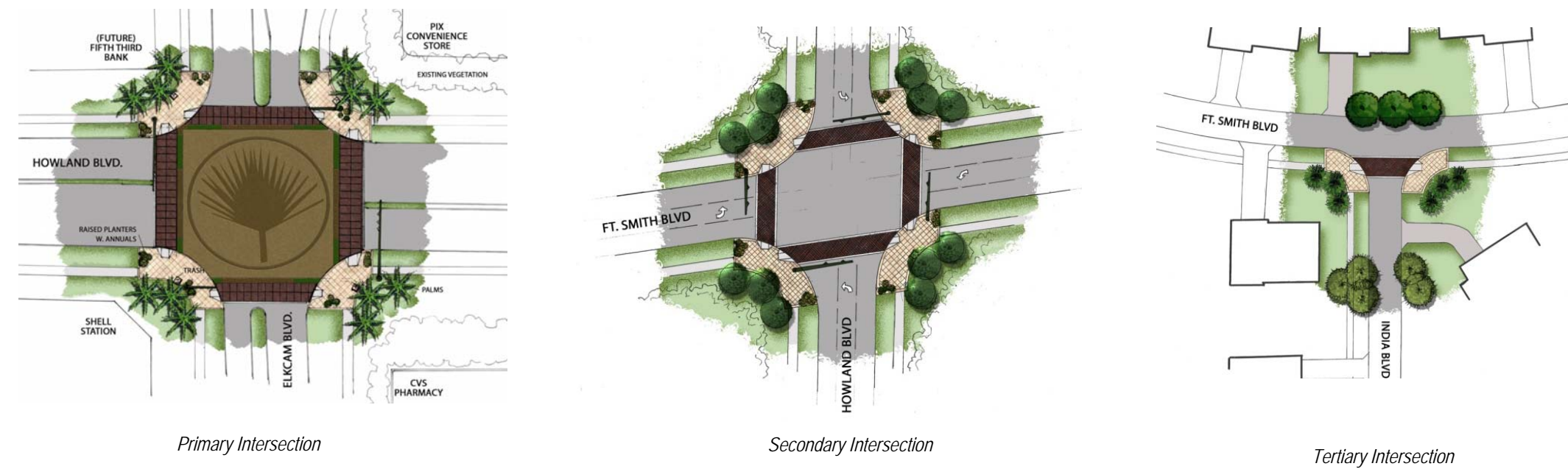
2.6.2 Landscaped Medians (see Figure 10 & 11)

- Roadways with 100 foot right of ways along Primary and Secondary Roads may include landscaped medians, planting strips behind back of curb with meandering multi-purpose walks and vegetative buffers. This streetscape design may be modified depending on the right-of-ways.
- Median planting areas shall be at least 12 feet wide from back of curb.
- Formal clusters of palm trees, pines trees and canopy trees at least 12 feet high at time of installation.
- Formal patterns of shrubs and ornamental grasses at no more than 3 feet high at time of installation.
- Clusters of groundcover shall be at least 12 inches high at time of installation and spaced equal distance from each other in a manner that provides full coverage at growth maturity.

2.6.3 Intersections (see Figure 1 on page 1 & Figure 12 on page 6)

- A. Primary/Gateway Intersections
- Landscape areas shall be at least 15 feet wide from back of sidewalk/pedestrian landing.
 - An evaluation of existing utilities shall be conducted to determine planting locations and tree species.

Figure 12: Gateway/Intersection Landscaping



Primary Intersection

Secondary Intersection

Tertiary Intersection

Figure 13: Parks and Public Gathering Areas



Figure 14: Wet and Dry Retention Ponds



- Formal clusters of palm trees and/or accent trees at least 12 feet high at time of installation.
- Formal patterns of shrubs and ornamental grasses at no more than 3 feet high at time of installation.
- Clusters of groundcover shall be at least 12 inches high at time of installation and spaced equal distance from each other in a manner that provides full coverage at growth maturity.
- Concrete raised planters with flowering annuals to accentuate the pedestrian landings.
- Raised planters shall have adequate irrigation and drainage without staining the pavement.

B. Secondary Intersections

- Landscape areas shall be at least 10 feet wide from back of sidewalk/pedestrian landing.
- An evaluation of existing utilities shall be conducted to determine planting locations and tree species.
- Formal clusters of palm trees at least 12 feet high and/or accent trees at least 8 feet high at time of installation.
- Clusters of groundcover shall be at least 12 inches high at time of installation and spaced equal distance from each other in a manner that provides full coverage at growth maturity.
- Concrete raised planters with flowering annuals to accentuate the pedestrian landings.
- Raised planters shall have adequate irrigation and drainage without staining the pavement.

C. Tertiary Intersections

- Landscape areas shall be at least 8 feet wide from back of sidewalk/pedestrian landing.
- An evaluation of existing utilities shall be conducted to determine planting locations and tree species.
- Formal clusters of palm trees at least 10 feet high and/or accent trees at least 8 feet high at time of installation.

2.6.4 Parks and Public Gathering Areas (see Figure 13)

- Planting areas shall be at least 30 percent of the total square footage of the public space (i.e., courtyards, plazas and parks).
- Formal clusters of palm trees, canopy trees or accent trees at least 12 feet high near seating areas.
- Formal patterns of shrubs and ornamental grasses at no more than 3 feet high.
- Clusters of groundcover shall be at least 12 inches high and spaced equal distance from each other in a manner that provides full coverage at growth maturity.

Figure 15: Site Furnishings



Figure 16: Prototypical Transit Shelter Locations



Back of Sidewalk

Back of Curb

2.6.5 Wet and Dry Retention Ponds (see Figure 14 on page 6)

- Shoreline shall be irregular, round, oval or kidney in shape.
- Maximum slope be 4:1 to a depth that is 2 feet below dry water season elevation.
- Fountain(s) or water feature(s) shall be incorporated into the pond design for wet stormwater ponds.
- At least 30% of the perimeter (median water control elevation) shall be landscaped with aquatic plantings at least 2 feet in width below the mean water elevation for wet stormwater ponds.
- Formal clusters of wetland plantings (tolerate wet and dry conditions) shall be installed on top of the embankment for wet and dry retention ponds.

2.7 Site Furnishings

The family of site furnishings shall be consistent with the "Nature" theme and strategically located to create pedestrian friendly streets and gathering areas (see Figure 15).

The bench and trash receptacle are from the *Lakeside* collection of *Landscape Form, Inc.* They are made out of recycled metals and are 100% recyclable meeting the Leadership in Energy & Environmental Design (LEED) standards. The metal panels are plasma cut with marsh grasses in a dark green powder coat finish. The benches and trash receptacles shall be located in high pedestrian activity areas under shade (i.e., near retail shops, promenades/plazas, parks and walkways), so as not to impede pedestrian movement.

The steel planters are from the *Chippendale* collection of *DuMor Site Furnishings* with a metal picket design in a dark green powder coat finish and round concrete planters from the *Wellington* collection of *Dura Art Stone* in a Nordic cream light sandblast finish. These planters shall be located in high pedestrian areas to accentuate entryways, seating areas, transit stops and primary intersections.

The bicycle rack is from the *Cycle Safe Vintage* collection – *The Plymouth* in a dark green powder coat finish. The bicycle racks shall be located in high pedestrian areas so as not to impede pedestrian movement next to building entrances, promenades/plazas, parks, etc.

The steel bollard is from *DuMor Site Furnishings* in a dark green powder coat finish. The bollard shall be used to separate vehicular traffic from pathways in odd numbers across a pedestrian circulation route.

2.8 Transit Shelter Locations

Transit stops with the highest usage along the bus routes and within a center development shall provide shelters consisting of a bench and a trash receptacle located at back of sidewalk or back of curb. Avoid locating the shelter directly on the sidewalk or overhanging a nearby sidewalk (see Figure 16).

A. Back of Sidewalk

- Minimum 5 foot wide sidewalk in front of the shelter from the roofline.
- Minimum 12 inch clearance between building and shelter to permit trash removal, if applicable.

Figure 17: Public Signage

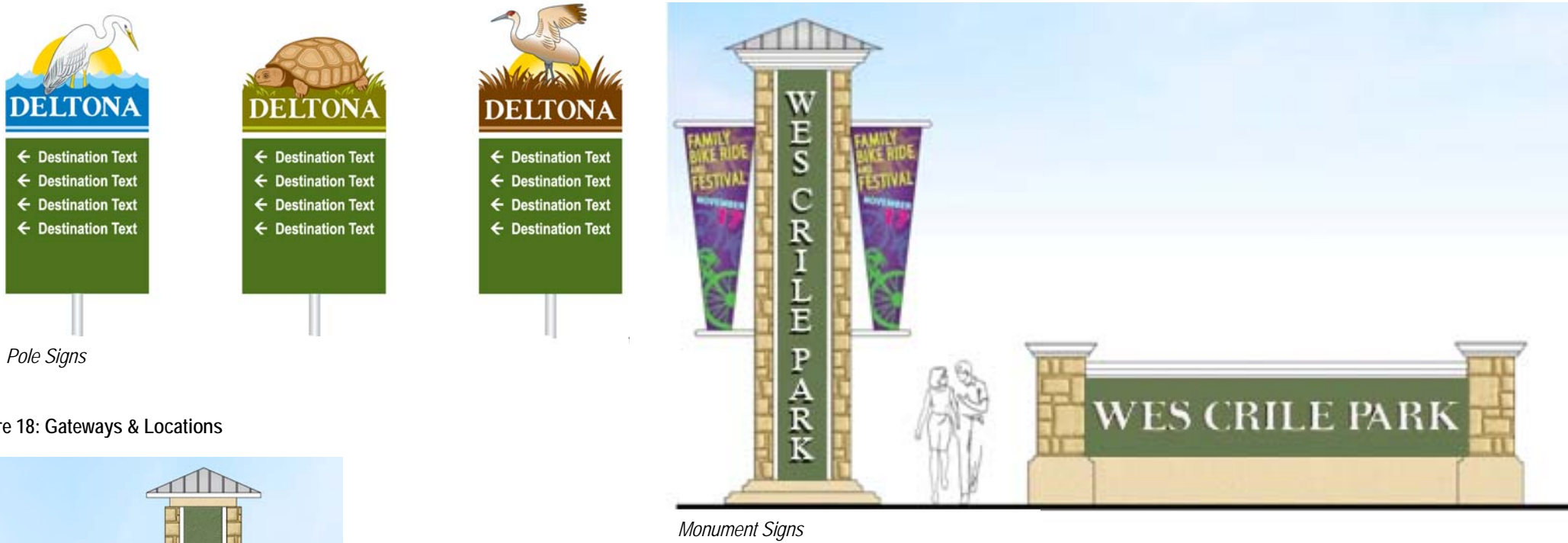


Figure 18: Gateways & Locations



Boundary Marker - Sign A

Welcome/Information Sign (with Reader Board) - Sign B

Welcome/Information Sign (without Reader Board) - Sign B



- May require partnerships with private property owners to acquire transit stop easements.
- B. Back of Curb
- Minimum 2 feet between the back of curb and the roofline to permit clear passage of the bus and its side mirror.
 - Minimum 5 foot wide sidewalk behind the shelter.
 - Minimum 3 feet circulation clearance.

2.9 Public Signage

Wayfinding and public signage shall be consistent with the three character areas by using the identity icons of the Primary intersections (*Gopher Tortoise, Heron, Live Oak, Magnolia, Cypress, Eagle, Sandhill Crane, Scrub Jay, Palmetto*) (see Figure 17). The public signage shall be erected on decorative poles with interchangeable fascia plates and incorporated into decorative monument signs with optional reader board. Banners may be attached to light poles and/or vertical monument signs.

The monument signs shall be accentuated by up-lighting and formal patterns of shrubs at no more than 3 feet high at time of installation and clusters of groundcovers at least 12 inches high at time of installation in a minimum 5 feet wide planting area in front of the sign. Formal clusters of palm trees and/or accent trees at least 14 feet high at time of installation may be installed behind the sign.

The location of public signs shall comply with the intersection approach and advance sign requirements of the Florida Department of Transportation (FDOT).

2.10 Gateways

To create a sense of entry and arrival to the City of Deltona, the primary gateways shall be located at Howland Blvd. & Graves Ave; Interstate 4 & Saxon Blvd.; Deltona Blvd. & Debarry Ave.; and Howland Blvd. & State Road 415 (see Figure 1 on page1)

The gateway is divided into two tiers, a vertical monument marker at the above noted intersections to identify the city boundaries and a welcome horizontal monument sign further down the roadway (see Figure 18).

The vertical monument marker may be raised-up by using interlocking *Siena Stone* retaining wall system from *Unilock* in a sand color. The welcome sign shall incorporate the existing reader board at Howland Boulevard and Graves Avenue, and at Saxon Boulevard and Interstate 4. The welcome sign without the reader shall be located at Deltona Boulevard and Debarry Avenue, and Howland Boulevard and State Road 415, to be phased in at a later time.

The gateways shall be accentuated by up-lighting and formal patterns of shrubs at no more than 3 feet high and clusters of groundcovers at least 12 inches high in a minimum 5 feet wide planting area in front of the sign. Formal clusters of palm trees and/or accent trees at least 14 feet high may be installed behind the sign.

The City may need to develop partnerships with private property owners at the intersections to acquire additional corner clips to locate the gateway vertical markers and welcome signs. The location of public signs shall comply with the intersection approach and advance sign requirements of the Florida Department of Transportation (FDOT).

3.0 PRIVATE URBAN DESIGN STANDARDS

3.1 Purpose and Applicability

The application of the Private Urban Design Standards is intended for public buildings, shopping centers, multi-tenant commercial centers, big box retail, mixed use commercial, office centers, light industrial/flex space complexes, individual stores or freestanding buildings and multi-family development (15 dwelling units or greater). These standards are focused on guiding new and existing property owners to develop their property in a manner consistent with the City's architectural themes of Florida Vernacular, Mediterranean and Classical styles.

The City's desire for a "Nature" theme promotes a holistic approach to redevelopment by complying with the "Green Building Guidelines." There is no single technique for designing and constructing a green building; but more than likely, in some form or another, a green building will contain all or a portion of the following.

- Preserve the natural environment
- Contain non-toxic and recycled content building material
- Maintain good indoor air quality
- Use water and energy efficiency
- Conserve natural resources
- Feature natural lighting
- Include recycling facilities
- Provide access to public transportation
- Feature flexible interiors
- Recycle construction and demolition waste
- Increase energy efficiency
- Establish renewable energy
- Provide techniques for water reduction
- Prefer environmental friendly building material and specifications

The Urban Design Pattern Book addresses both site development and architectural treatments and are not intended to constitute a complete list of building materials or architectural elements. The images are to provide examples and guidance regarding the above-noted architectural characteristics.

As property owners comply with these design standards, an architectural harmony will be created along the primary corridors and overlay districts that will distinguish the City of Deltona as a unique and desirable community in which to live, work and play.

3.2 Architectural Styles

The City of Deltona has three architectural themes of Mediterranean, Florida Vernacular and Classical styles (see Figure 19 on page 10).

- Florida Vernacular and Mediterranean – Citywide
- Mediterranean – Deltona Activity Center
- Florida Vernacular (Florida Cracker) – Enterprise Commercial Overlay District

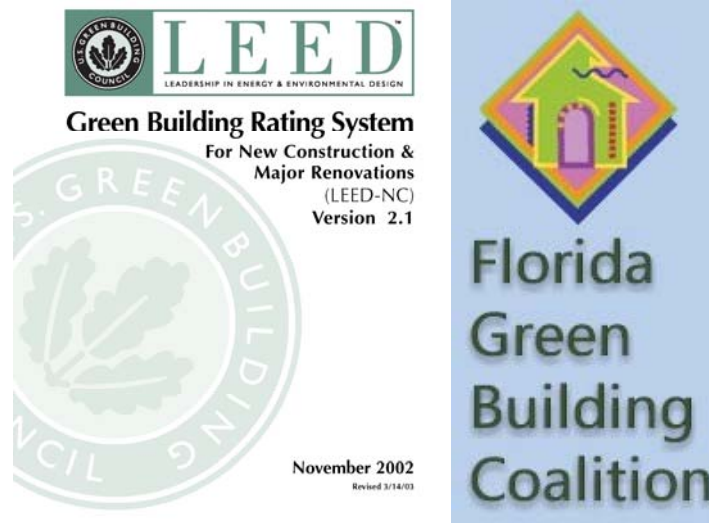


Figure 19: Architectural Styles



Mediterranean



Florida Vernacular



Classical



- Florida Vernacular – Doyle Road, Debarry Avenue and State Road 415
- Classical (Georgian, Colonial, Neo-classical, Victorian and Transitional) – Howland Boulevard

The façade treatments shall apply to all building elevations, including those sides of a building that are primarily only visible from within a property and/or from adjacent properties, as well as those visible from the public right-of-way.

The design standards pertain to the following architectural treatments for the Mediterranean, Florida Vernacular and Classical styles.

- Building Materials
- Exterior Colors
- Architectural Details
- Roof Shapes

These standards are not intended to constitute a complete list of building details and materials. The images are to provide examples and guidance regarding the various architectural styles within the City. Contemporary interpretations of these architectural styles are acceptable, if based on the scale and proportions of the style.

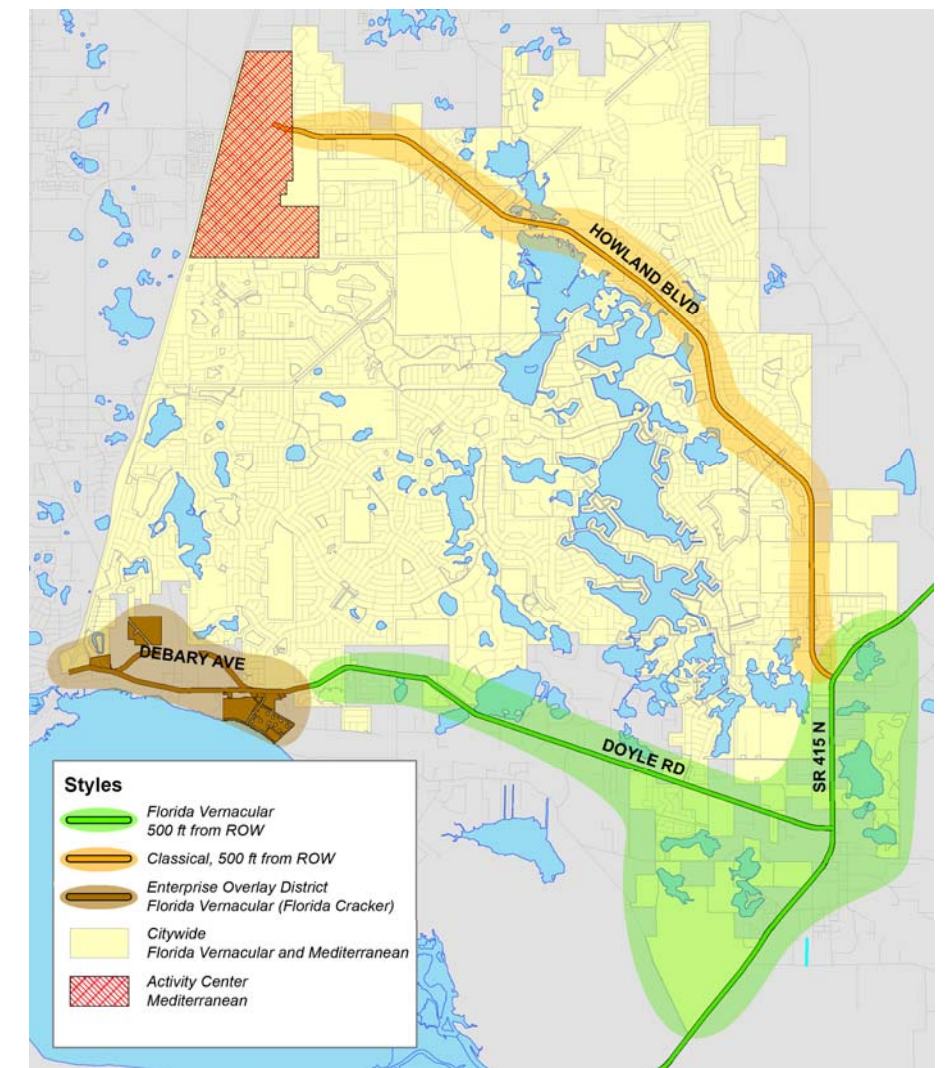
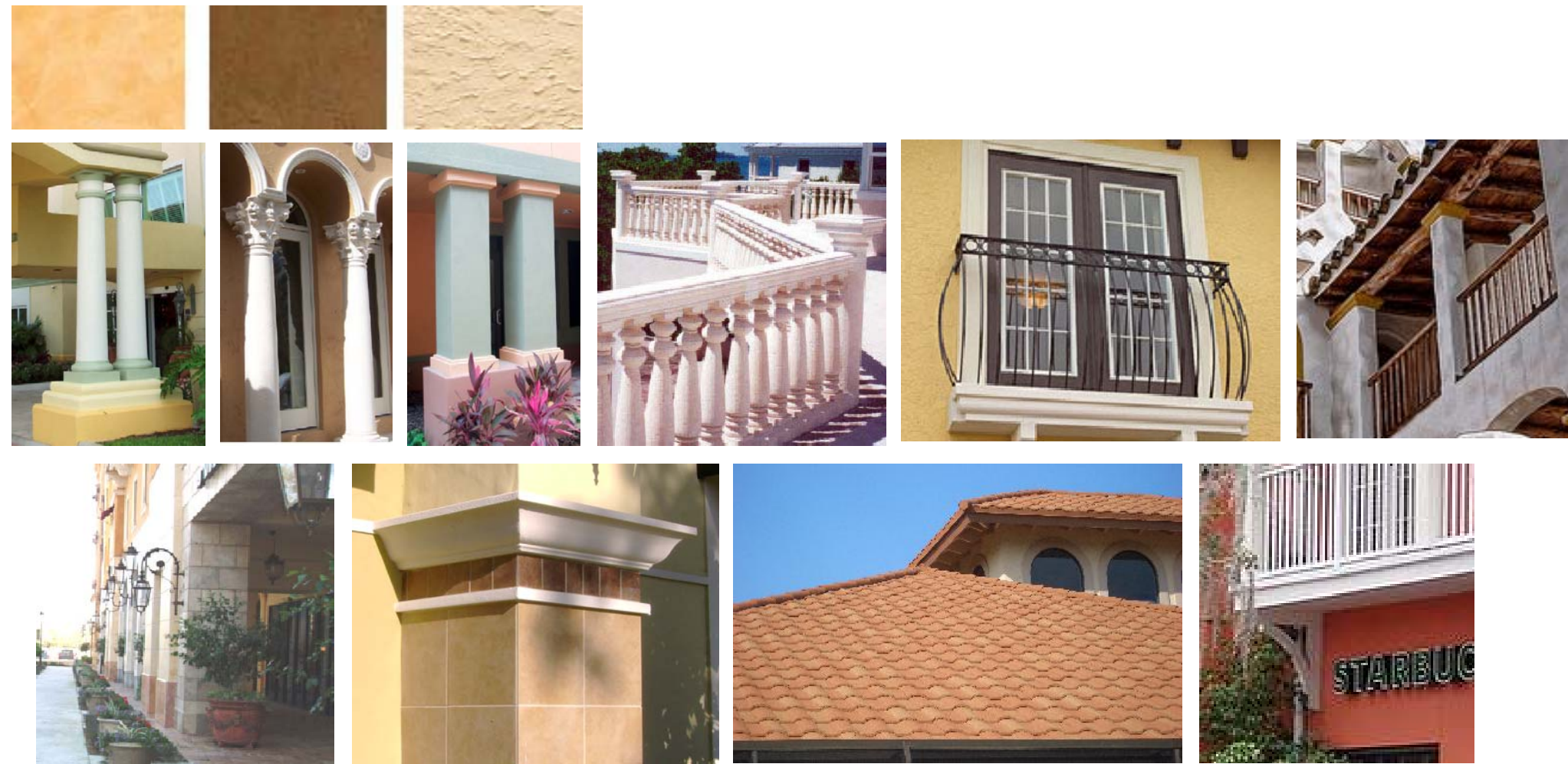


Figure 20: Building Materials



3.2.1 Mediterranean Style

In the 1900's, architectural influences from both Latin and European cultures combined to create the Mediterranean style, which has become a staple in Florida communities. There are various styles, but are commonly characterized by symmetrical rectangular volume and asymmetrical vertical volumes; stuccoed wall surfaces, flat or low-pitched terra cotta and tile roofs, arches, scrolled or tile-capped parapet walls and articulated door surrounds.

3.2.1.1 Building Materials (see Figure 20)

- A. Exterior finish material on all facades shall be primarily stucco (light, smooth or medium texture).
- B. Stone, brick, split-faced concrete block or coquina may be used as a secondary material provided that such material comprise no more than one third of any building façade.
- C. Balconies, porches and loggias shall be decorative metal, wood, carved stone, concrete or stucco. The balconies shall be supported with brackets made of wood or cast stone.
- D. Railings shall be wrought iron, aluminum picket or cast stone.
- E. Clay or concrete barrel tile roofs.

3.2.1.2 Exterior Colors (see Figure 21)

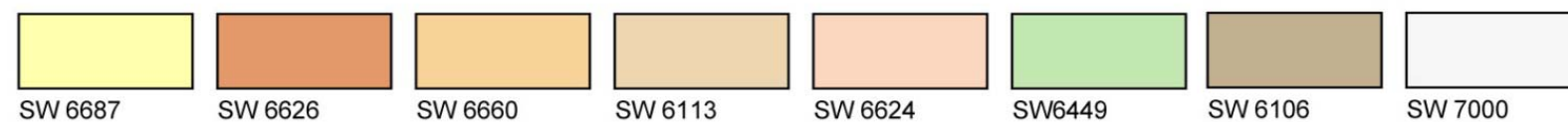
- A. Exterior finish shall be light earth tones such as pale yellows, pale greens, terracotta, etc.
- B. Trim colors shall be contrasting colors such as light, medium, or dark earth tones. Roof colors shall be reddish-orange (terracotta) or brown.
- C. Accent colors, particularly on decorative tile shall be deep blue, red, orange, yellow or green.
- D. A color palette from Sherwin Williams is provided to demonstrate the range of colors.
- E. Paint of similar colors from any manufacturer is acceptable for use on the exterior of the buildings.
- F. All exterior colors, combinations of colors and locations of colors on buildings and structures shall be approved during the development review process.

3.2.1.3 Architectural Details (see Figure 22 on page 12)

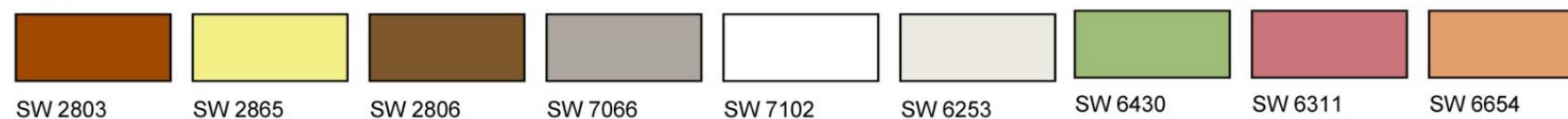
- A. Provide simple to dramatic ornamentation such as wall tiles, medallions, iron works, wall reliefs, etc.
- B. Roof eaves shall be smooth plaster or cast stone/stone-like cornice.
- C. Parapet walls shall be tiered with a decorative cap or cast stone/stone-like cornice.
- D. The roof overhangs shall include decorative rafter tails or brackets.
- E. All windows shall be broken up into separate panes by fixed or false mullions on the exterior.

Figure 21: Exterior Colors

Base



Trim



Accent

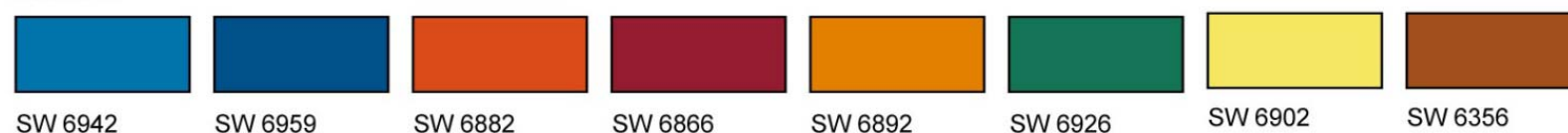
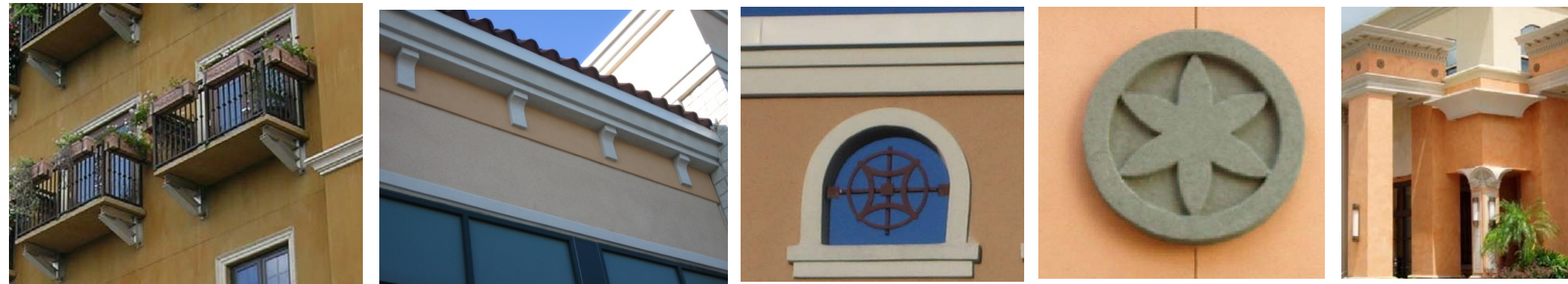


Figure 22: Architectural Details



- F. All windows shall be recessed a minimum of 2 inches from face of stucco to window frame.
- G. Lintel, if exposed, to be 6 to 8 inches in height and minimum 1 foot below cornice. Material shall be cast stone, smooth plaster or wood. All lintels to be or appear to be solid.
- H. The columns shall be Doric, Corinthian, square or spiral.
- I. Aches shall be round to elliptical in form.
- J. Cantilever balconies shall be supported with brackets made of wood or cast stone/stone-like and railings shall be wood, wrought-iron/metal picket or cast stone/stone-like.
- K. Chimneys shall be stucco with finish to match body and a decorative metal roof over arched openings for water protection.



3.2.1.4 **Roof Shapes** (see Figure 23)

- A. Roofs shall be gable or hip style with a low pitch (4:12 to 5:12 slope).
- B. Roof material shall be clay or concrete barrel tile in natural tones of red, orange and brown.
- C. Very little or no eaves are utilized and the gable end consists only of one barrel tile on edge. Exceptions are open rafter tails with 1-1/4 to 2-1/4 feet overhangs supported by brackets.
- D. Flat roofs may be permitted for structures greater than 5,000 square feet of gross building area with the following requirements:
 - Curved, pitched or stepped parapet walls, not to exceed 42 inches high or as required to enclose rooftop equipment.
 - Minimum 18 inch high cornice treatment with three changes in the relief or thickness.
 - Combination of pitched and flat roofs.
- E. The gutters shall be half round with round downspouts. The gutters and downspouts shall have a metal or concrete finish.

Figure 23: Roof Shapes



Figure 24: Building Materials



Figure 25: Exterior Colors

Base								
	SW 6753	SW6856	SW6908	SW6788	SW6933	SW6750	SW6662	SW 6687
Trim								
	SW 7002	SW7000	SW6001	SW7122	SW6444	SW6695		
Accent								
	SW 6796	SW6938	SW6859	SW6583	SW6910	SW6313	SW6926	

3.2.2 Florida Vernacular Style

Florida Vernacular is a style of wood frame home used somewhat widely in the 19th century in Florida. The vernacular architecture is a product of many distinct influences from the "Cracker", "Folk Victorian" and "Key West" styles with wide porches and large roof overhangs, raised floors, and narrow - typically one room deep to allow for through ventilation. Florida Vernacular homes are well adapted to the warm southern climate.

3.2.2.1 Building Materials (see Figure 24)

- A. Exterior finish material on all facades shall be lapped board siding or vertical board and batten siding, or smooth stucco.
- B. Chimney and base shall be brick or stucco.
- C. Wood appearing railings with square or turned balustrades, or flat boards with scroll cut pattern.
- D. Architectural shingles or metal roofs.

3.2.2.2 Exterior Colors (see Figure 25)

- A. Exterior colors shall be whimsical and uplifting colors to portray the Key West ambience, such as natural shades of sand, stone, slate and earth.
- B. Trim colors shall be contrasting colors such as light to medium earth tones.
- C. Accent colors to feature the ornaments shall be vivid blues, reds, yellows, greens and browns.
- D. A color palette from Sherwin Williams is provided to demonstrate the range of colors.
- E. Paint of similar colors from any manufacturers is acceptable for use on the exterior of the buildings.
- F. All exterior colors, combinations of colors and locations of colors on buildings and structures shall be approved during the development review process.

3.2.2.3 Architectural Details (see Figure 26 on page 14)

- A. Decorative brackets with exposed nail plates at the gable end.
- B. Decorative shingles at the gable end.
- C. Vertical board panel or louvered shutters to be proportioned with the window width.
- D. Dormers or cupolas to break up the roofline.
- E. Decorative trim above windows and doors.
- F. Either no window muntins or raised vertical muntin pattern.
- G. Square columns (with chamfers above railings) or turned columns with capital or brackets at top.
- H. Mandatory front porch (min. 8 feet wide) facing the public right-of-way (Key West Style).
- I. Decorative trellis to break-up horizontal plane.

Figure 26: Architectural Details



3.2.2.4 **Roof Shapes** (see Figure 27)

- A. Roofs shall be gable or hip style with a steep pitch (7:12 to 12:12 slope).
- B. Porch Roof Pitch = 2:12 to 4:12 (not applicable for Key West)
- C. Roof material shall be shingles (often diamond or fish scale patterns) or metal (painted or galvalume) 5-V panels or 16 inch pattern narrow standing seam.
- D. Flat roofs may be permitted for structures greater than 5,000 square feet of gross building area with the following requirements:
 - Stepped parapet walls, not to exceed 42 inches high or as required to enclose rooftop equipment.
 - Minimum 18 inch high cornice treatment with three changes in the relief or thickness.
 - Combination of pitched and flat roofs.
- E. The gutters shall be half round with round downspouts. The gutters and downspouts shall have a metal finish.

Figure 27: Roof Shapes



Figure 28: Building Materials

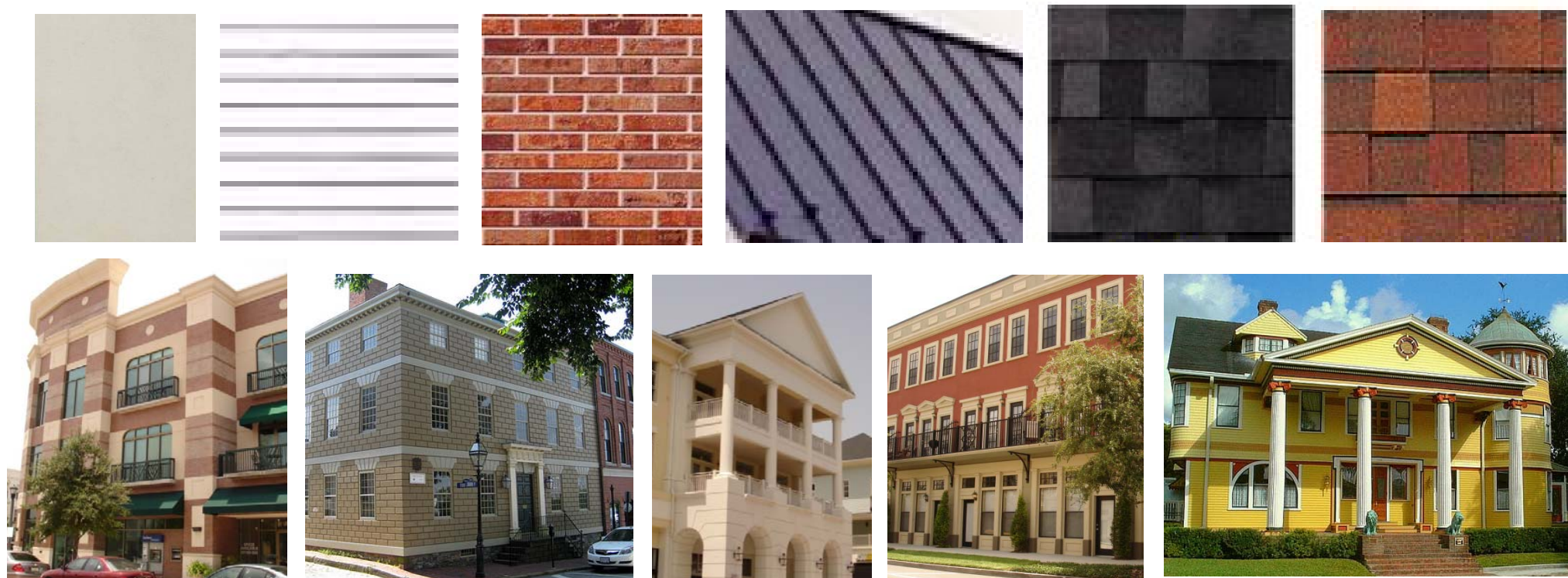


Figure 29: Exterior Colors



3.2.3 Classical Style

The Classical style encapsulates various influences from the Georgian, Colonial, Neo-classical, Victorian and Transitional architecture, which were commonly found in northeast Florida in the late 19th century. The classical style is characterized by simple massing, symmetrical façades, paired columns, and highly detailed eave, window and door elements.

3.2.3.1 Building Materials (see Figure 28)

- A. Exterior finish material on all facades shall be lapped board siding, brick or smooth stucco.
- B. Railings shall be square balusters, turned balusters, or wrought iron/metal picket.
- C. Brick or stucco chimney.
- D. Fiberglass asphalt shingles or standing seam metal, typically black.

3.2.3.2 Exterior Colors (see Figure 29)

- A. Exterior colors shall be muted natural shades of sand, stone, slate and earth.
- B. Trim colors shall be contrasting colors such as light to medium earth tones.
- C. Accent colors to accentuate the ornate details shall be vivid hues of greens, oranges, browns and beiges.
- D. A color palette from Sherwin Williams is provided to demonstrate the range of colors.
- E. Paint of similar colors from any manufacturer is acceptable for use on the exterior of the buildings.
- F. All exterior colors, combinations of colors and locations of colors on buildings and structures shall be approved during the development review process.

3.2.3.3 Architectural Details (see Figure 30 on page 16)

- A. Porches shall have columns, balustrade elements and entablatures.
- B. Paneled and/or louvered shutters to be proportioned with the window width.
- C. Lintels shall be brick, stone, pre-cast concrete with smooth face and flush with veneer
- D. Dormers to break up the roofline.
- E. Windows shall be divided by raised muntins.
- F. Transom light above the doors.
- G. Entries are typically centered on the front façade and the façade is often symmetrical.
- H. Proportions of eaves shall be similar to the porch entablature, in that the eave size relates directly to the scale of the mass below it.
- I. Chimneys shall be brick or stucco.
- J. Columns to have classical proportions.

Figure 30: Architectural Details



3.2.3.4 **Roof Shapes** (see Figure 31)

- A. Roofs shall be gable or hip style with a pitches ranging from 6:12 to 10:12 slope).
- B. Roof material shall be architectural shingles or standing seam metal, typically black.
- C. Flat roofs may be permitted for structures greater than 5,000 square feet of gross building area with the following requirements:
 - Stepped parapet walls, not to exceed 42 inches high or as required to enclose rooftop equipment.
 - Minimum 18 inch high cornice treatment with three changes in the relief or thickness.
 - Combination of pitched and flat roofs.
- D. The gutters shall be half round with round downspouts. The gutters and downspouts shall have a metal finish.

Figure 31: Roof Shapes



Figure 32: Building Mass & Facades



3.3 Building Design

The building façade shall be designed to enhance the attractiveness of the City's streetscape through recesses and projections; and strategic locations of doors, windows, storefronts, awnings, canopies and arcades to provide visual interest from the perspective of the pedestrian and the motorist. The building design shall incorporate architectural details of the Mediterranean, Florida Vernacular and Classical styles.

3.3.1 Building Mass and Façades (see Figure 32)

- The building mass shall have a step-down approach from west to east of the City limits ranging from mid-rise buildings along Interstate 4 to low-rise buildings toward single-family residential neighborhoods.
- No uninterrupted horizontal length of the building façade shall exceed 20 linear feet for structures less than 5,000 square feet; 35 linear feet for structures greater than 10,000 square feet; and 50 linear feet for structures over 50,000 square feet.
- Elements acceptable for the interruption of blank wall surfaces are horizontal and vertical recessed and protruding elements (minimum 6 inches).
- Architectural design shall be incorporated into all building facades, including those sides primarily only visible from within a property and/or from adjacent properties, as well as those visible from the public right-of-way. Any side that faces an adjacent public right-of-way shall be architecturally treated to appear like the front of the building.

Figure 33: Doors, Windows & Storefronts



Mediterranean

Florida Vernacular

Classical

3.3.2 Accessory Buildings

- Accessory buildings for principal structures and uses shall be integrated into the project design in a manner that will not detract from site aesthetics.
- Accessory buildings shall have the same exterior finish and color as the principal building located on the same lot and at least three similar architectural details found on the principal building (i.e., windows, doors, roof style, cornice detailing, etc.).

Figure 34: Awnings, Canopies & Arcades



Mediterranean

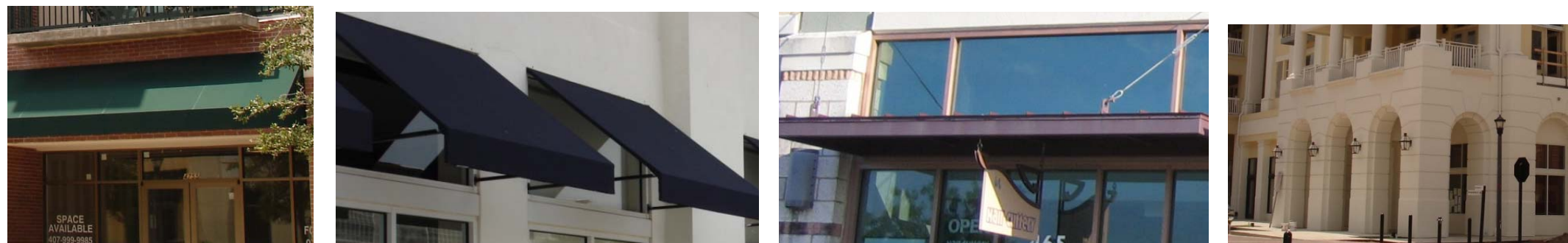
3.3.3 Doors, Windows and Storefronts (see Figure 33)

- The front façade(s) shall have at least one primary public entrance facing the street and shall be designed as a focal point using architectural details and landscaping.
- Doors shall be decorative and designed to encourage visibility from the pedestrian and the street area.
- *Ground-Floor Commercial* - The front and side corner ground floor exterior building wall areas shall contain a minimum of 50% transparent glass storefront windows, located between 1-1/2 and 9 feet measured from ground level.
- *Ground-Floor Office* - The front and side corner ground floor exterior building wall areas shall contain a minimum of 15% transparent glass windows, located between 1-1/2 and 9 feet measured from ground level.
- Upper stories (higher than 20 feet above grade) shall be no greater than 35% transparent glass windows.

Figure 34: Awnings, Canopies & Arcades (continue)



Florida Vernacular



Classical

Figure 35: Site Layout



- Reflective, tinted or spandrel glass windows are prohibited.

3.3.4 Awnings, Canopies and Arcades (see Figure 34)

- Awnings or canopies shall be proportioned to fit between the second floor windows, or roof parapet, and the top of the storefront door, window or transom. Detailing on parapet walls shall not be covered by awnings.
- When placing awnings on long horizontal buildings the awning can be used to break up the linear image of the facade. Awnings shall contain a visual break at a maximum of 45 foot intervals.
- Awning heights along linear buildings over 50 foot length shall vary in height, width, color or materials over doors and windows to provide a diversity of visual interest.
- Long linear buildings containing a variety of uses, such as shopping plazas shall tailor awnings to each individual business.
- Valance awnings below canopies or marquees shall be a minimum height of 6-1/2 feet from the ground level to the bottom edge of the valance.
- Arcades shall have a minimum interior height of 9 feet and a minimum interior width of 6 feet.
- Canopies for gas service stations and drive-thru facilities (i.e., banks and fast food restaurants) shall have similar exterior finishes and architectural details as the building structure. The maximum height of gas station canopies shall not exceed 16 feet.

3.4 Site Design

The quality of the pedestrian environment shall be a central defining aspect of the site layout and designed to create safe, functional and efficient spaces, as well as aesthetically pleasing surroundings. The following standards address site layout, building placement, outdoor spaces, parking, drive-thru facilities, loading docks, drop-off zones, walkways, fences and walls, site lighting and site furnishings to create high quality experience for people who work, shop and visit the City of Deltona.

3.4.1 Site Layout (see Figure 35)

- The buildings, vehicular and pedestrian circulation, parking, landscaping, stormwater retention and various other site features, shall be designed with an integrated architectural theme which ties the entire development together as a unified whole.
- Shared driveways and parking with vehicular and pedestrian cross access shall be integrated into the site design.
- Site entrances shall be developed with at least one major driveway entrance feature, such as a landscaped entry corridor and/or median.
- Limit stormwater retention/detention ponds to the side or to the rear of the building(s), except for principal structures over 45,000 square feet of gross floor area, in which the ponds shall serve as a visual amenity and shall comply with the design requirements of Section 2.6 (f), page 6. In addition,

Figure 36: Building Placement



developments within the Activity Center shall comply with the *Stormwater Management Ordinance (Ord. 15-2004)*.

3.4.2 Building Placement (see Figure 36)

- Buildings shall be designed and oriented so that the entrance is visible from the public road from which driveway access is provided.
- Buildings shall be attached or clustered with interconnecting landscape, open space and pedestrian areas.
- Pad developments shall be integrated into the surrounding center in terms of parking layout, landscaping, vehicular and pedestrian circulation, and building design. Pad developments shall not include more than 40% of the road frontage of any center development.
- Building orientation shall be such that service areas, dumpster areas and mechanical equipment are placed out of view from public right-of-way, parking areas and adjacent properties. Structural screening and/or landscaping screening shall be designed using Crime Prevention Through Environmental Design (CPTED) principles to prevent criminal activities.

Figure 37: Outdoor Spaces



3.4.3 Outdoor Spaces (see Figure 37)

- Buildings shall complement outdoor spaces for courtyards, patios/open air porches, outdoor eating and drinking, plazas, sculptures, fountains or other visual amenities by varying the building setbacks along the street and permitting these amenities to encroach into the required front and side street yards to the right-of-way line.
- Usable open space areas shall be located near building entrances, major site connections and other focal points.
- Entry plazas are required for larger individual commercial and mixed-use developments for general pedestrian circulation, and drop-off and pick-up areas.
- Pedestrian access shall be provided to these amenities.
- Outdoor employee areas shall be integrated into the site design in separate areas from the general public circulation with adequate screening, while still addressing public safety.
- Outdoor spaces shall be enhanced by the use of decorative paving, landscaping, seating, trellis, pedestrian scale lighting and public art.

Figure 38: Parking



3.4.4 Parking (see Figure 38)

- Driveways, curb cuts, parking and internal roadway/traffic circulation shall be designed so that uninterrupted vehicular/pedestrian access from parcel to parcel is achieved through cross-access connections.
- The visual impact of the parking lots in front of the principal structures shall be reduced to create a pedestrian-oriented urban design form.
 - i. Parking lots shall be limited to the rear of public buildings and in the Enterprise Commercial Overlay District and the Deltona Activity Center.

Parking at Rear

One-Bay of Parking at Front

One & One Half Bay of Parking at Front

Figure 39: Drive-Thru Facilities



Figure 40: Loading Docks



Figure 41: Drop-Off Zones



Figure 42: Walkways



- ii. Maximum of one bay of parking (i.e., a two-way aisle with 90° parking spaces on both sides) shall be located along the front and/or street side property lines.
- iii. Maximum of one and one half bays of parking (i.e., a two-way aisle with 90° parking spaces on both sides and a two-way aisle with 90° parking on one side) located between the front and/or street side property lines for principal structures over 45,000 square feet of gross floor area.

- Decorative crosswalks shall be provided to connect the walkways from the street and between adjacent properties (where there is a cross access easement). The crosswalks shall be a minimum 6 feet wide and constructed with pavers and/or elevated texture-colored concrete.

3.4.5 Drive-Thru Facilities (see Figure 39)

- Drive-thru lanes for restaurants, banks, pharmacies and other uses shall be integrated with the overall site layout, so as to provide safe, efficient, integrated vehicular and pedestrian circulation.
- Adequate vehicular stacking or queuing space shall be provided to avoid waiting vehicles from blocking the drive aisles.
- Drive-thru facilities shall be located so as to minimize the visual impact from the right-of-way.
- Canopies shall be consistent with the architectural style and detailing of the building.

3.4.6 Loading Docks (see Figure 40)

- Loading docks shall be located away from the street and screened from public view.
- Adequate separation and screening with a combination of masonry walls and landscaping shall be integrated adjacent to residential neighborhoods.

3.4.7 Drop-Off Zones (see Figure 41)

- Passenger drop-off and pick-up areas shall be integrated into the design of center developments with attractive paving, adequate separation of vehicles and pedestrians, and convenient location near building entrances.

3.4.8 Walkways (see Figure 42)

- Pedestrian walkways shall be at least 6 feet wide.
- A direct pedestrian access shall be provided from the sidewalk on the closest street right-of-way to the main building entrance or storefront.
- Pedestrian access shall be provided from parking lots to the ground floor uses, either through building entrances, pedestrian ways along the perimeter of buildings, or by pedestrian throughways which connect the parking lots to the sidewalks along the front street.

Figure 43: Fences & Walls



Mediterranean

Florida Vernacular

Classical

Figure 44: Site Lighting



Mediterranean

Florida Vernacular

Classical

Figure 45: Site Furnishings



Mediterranean

- Pedestrian thoroughways may be exterior and located between buildings or may be incorporated into the interior design of a structure.

3.4.9 Fences and Walls (see Figure 43)

- Picket fencing located between the building and the street right-of-way shall not exceed 4 feet in height. Picket fencing may be installed on top of a knee wall in proportionate scale (i.e., 1/3 or 1/2), not to exceed a total height of 4 feet.
- Opaque fencing along the side and rear yards shall not exceed 6 feet in height.
- Walls located between the building and the street shall not exceed 3 feet in height to prevent potential hiding places and to provide natural surveillance of "eyes on the street."
- Fences and walls located along the street shall be set back at least 3 feet from the property line.
- Fences and walls greater than 30 feet in length shall have columns, pilasters or offsets at least every 30 feet.
- Polyvinyl chloride (PVC) picket fencing shall be appropriate for Florida Vernacular style.
- Aluminum picket or wrought-iron fencing shall be appropriate for Mediterranean and Classical styles.

3.4.10 Site Lighting (see Figure 44)

- All light fixtures shall comply with the lighting ordinance (*Ord. No. 10-2004*) and shall be incorporated as an integral design element that complements the architectural styles through material and color.
- The scale of the light fixture and pole shall be appropriate to the space being used, such as decorative roadway lights in parking lots and wide roadways and pedestrian lights in public gathering areas and walkways.
- Single and dual light fixtures are appropriate.

3.4.11 Site Furnishings (see Figure 45)

The site furnishings shall complement the architectural styles and the design of the building or project. The "Nature" theme site furnishings may be incorporated into the Florida Vernacular style, as well as in courtyards, retention ponds, park spaces, etc.

A. Benches

- The benches shall be 6 feet long steel picket bar seating with backrest, center armrest and black polyester powder finish.
- The benches shall be located in high pedestrian activity areas (i.e., near retail shops, plazas and walkway systems), so as not to impede pedestrian movement and under shade (i.e., trees and canopy/awning).
- The benches shall be anchored to a concrete base as per the manufacturer's specifications.
- The bench and trash receptacle shall be the same style.

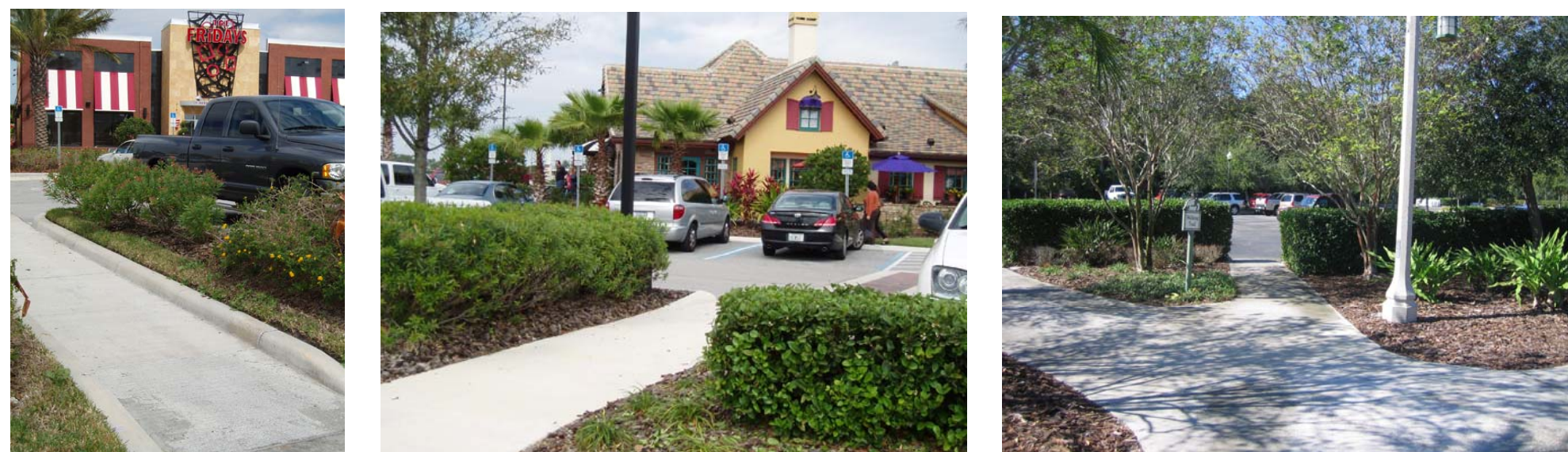
Figure 45: Site Furnishings (continue)



Florida Vernacular

Classical

Figure 46: Landscaping Along Vehicular Use Areas



B. Trash Receptacles

- The trash receptacles shall be 32 gallon containers. Ash urn and/or cover may be incorporated into the opening.
- The trash receptacles shall be steel picket bars in black polyester finish, or concrete containers in terracotta and stone finishes.
- The trash receptacles shall be located in high pedestrian activity areas (i.e., near retail shops, promenades/plazas, walkway systems, etc.), so as not to impede pedestrian movement.
- The trash receptacles shall be anchored to a concrete base as per the manufacturer's specifications.

C. Planters

- The planters shall consist of round and/or square decorative urns in rustic, terracotta and stone finishes.
- The planters shall be located in high pedestrian activity areas to accentuate the entranceways and seating areas, and to enhance the streetscape.

D. Bicycle Racks

- The bicycle racks shall be decorative steel inverted U-racks with arches, curvatures and circular features in black heavy rubberized coating.
- The bicycle racks shall be located in high pedestrian areas, so as not to impede pedestrian movement, next to building entrances, promenades/ plazas and parks.
- The bicycle racks shall be anchored to a concrete base, as per the manufacturer's specifications.

E. Bollards

- Bollards shall be used to separate vehicular traffic from pathways or pedestrian circulation areas.
- Odd number of bollards shall be used across a pedestrian circulation route.

3.4.12 Landscaping

The landscaping shall be consistent with the plant palette of the three character areas: 1) Palmetto; 2) Lake; and 3) Sandhill, as well as the design requirements specified in Section 2.6, page 4. Additional plant materials may be used, as long as they are consistent with the three character areas and are "Florida Friendly" and Xeriscape.

The landscaping shall also comply with *Section 110-808 Landscape Requirements of the Zoning Code* and *Subsection 110-808.15 Activity Center Landscaping Requirements* to require desirable landscape planning and installation, water efficient irrigation and appropriate maintenance measures to promote conservation of water resources.

The landscaping shall be designed using Crime Prevention Through Environmental Design (CPTED) principles to prevent potential hiding places for criminal activities.

Figure 47: Landscaping Along Building Facades



Figure 48: Transit Amenities



The following landscape standards are to enhance the screening of vehicular use areas and the building façades along the right-of-ways.

- A. Vehicular Use Areas (see Figure 46 on page 22)
 - A landscape area shall be at least 10 feet wide.
 - Canopy trees shall be at least 14 feet high at time of installation and spaced between 40 to 50 feet on-center.
 - A continuous hedge shall be at least 3 feet high at time of installation with breaks to permit pedestrian access to the principal structure.
 - One square foot of groundcover shall be required for every 2 linear feet of parking area that faces the street. The groundcover may be clustered or extended along a building's perimeter.
- B. Building Facades (see Figure 47)
 - If the principal structure is setback from the right-of-way, a landscape area at least 8 feet wide shall be provided.
 - Accent trees (palms and understory trees) at least 12 feet high at time of installation shall be required for every 30 linear feet of building façade (including breezeways) that faces the street. The accent trees may be clustered or extended along the building's perimeter.
 - One shrub shall be required for every 2 linear feet of building façade (including breezeways) that faces the street. The shrubs may be clustered or extended along a building's perimeter.
 - One square foot of groundcover shall be required for every 2 linear feet of building façade that faces the street. The groundcover may be clustered or extended along a building's perimeter.

3.4.13 Transit Amenities

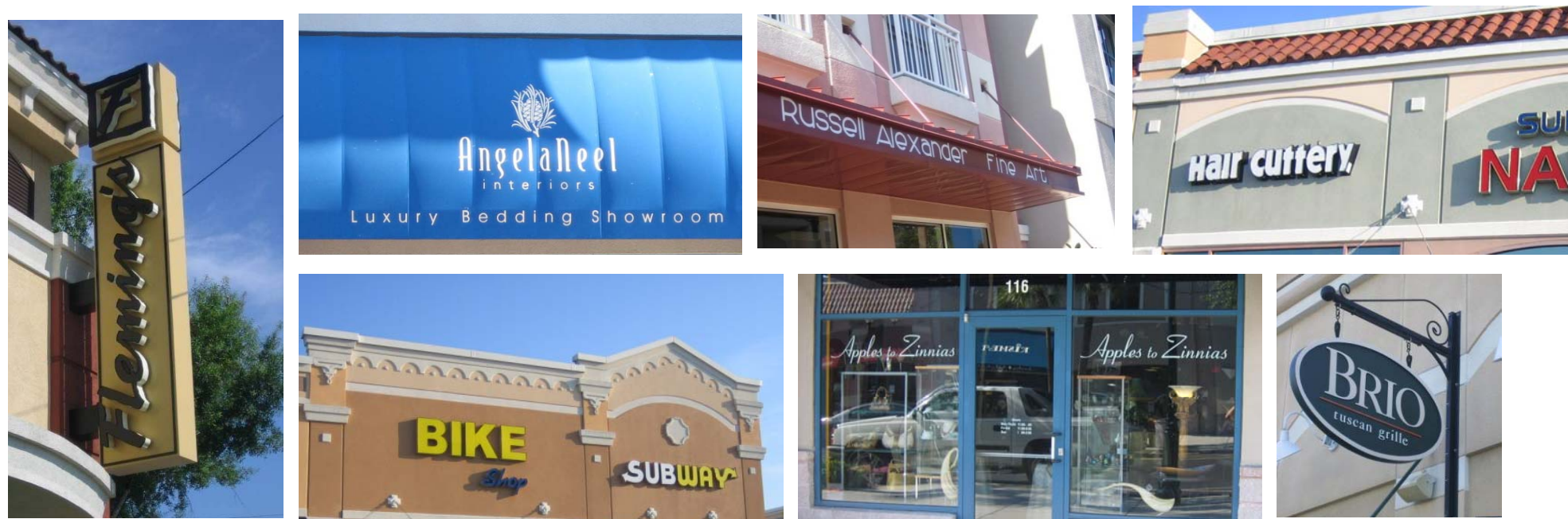
The transit stops shall be defined with a decorative shelter resembling a garden gazebo with a hip metal roof, with or without advertising panels. The decorative bench and trash receptacle are from *Landscape Form, Inc.* The bench shall be located either inside or outside of the shelter and the trash receptacle shall be located outside of the shelter near the bench.

The transit shelter area shall be accentuated with decorative color concrete:

- The decorative colored concrete field shall be "Summer Beige" (5234), L.M. Scofield Chromix Admixture with 3000 psi grey concrete base mix.
- The concrete field area shall be medium broom finish with 30 inch square control joint grid, 4 inch minimum thickness.
- The 12 inch wide concrete bands shall be 3000 psi natural grey concrete with sponge float finish, 6 inch minimum thickness.

Landscaping shall be provided in steel planters from *DuMor Site Furnishings* with flowering annuals, and/or where feasible, a 7 foot wide landscape area with formal clusters of accent trees at least 8 feet high at time of installation. (see Figure 48)

Figure 49: Building Signage



Mediterranean



Florida Vernacular

3.5 Signage

The purpose of these sign standards is to create an uncluttered and unified appearance and permit sufficient identification while allowing individual expression in a creative manner. The sign standards are intended to encourage a festive and pedestrian-oriented, yet cohesive, image for the various architectural styles within the City of Deltona. The signs shall be secondary in visual importance to building architecture. Refer to *Chapter 102* of the *Land Development Code* for additional information.

3.5.1 Building Signage (see Figure 49)

A. Wall Signs

- Wall signs under canopies, awnings and on a blank wall shall be located between 3 and 12 feet above ground level in order to be seen by pedestrians.
- Wall signs shall be permitted on parapet walls under two conditions: 1) the parapet wall must be of a reasonable size to accommodate the sign, and 2) the sign must be positioned on the parapet wall where it will not cover the facade details.

B. Window Signs

- Window sign area shall be limited to 33% of the window area of the first two stories of any building facade facing a street.
- Window signs shall be prohibited above the second floor or 24 feet up from ground level, whichever is less.
- Window signs shall include those affixed to or within 12 inches from the window surface.

C. Awning Signs

- The character height shall not exceed 2/3 of the height of the face (vertical or near vertical part) of the awning.
- When possible, signs shall be horizontally and vertically centered on the face of the awning.

D. Canopy Signs

- The placement of this type of sign shall be limited to the canopy face length.
- No sign shall project beyond the perimeter of the canopy.
- The sign shall not exceed one square foot per lineal foot of canopy face length.

E. Projecting/Blade Signs

- These signs shall be erected perpendicular to the street.
- The sign shall not extend more than 5-1/2 feet from the building wall.
- Projecting signs shall not exceed 19 feet in height above the ground on one-story buildings, and shall not exceed 28 feet in height above the ground on two-story buildings.
- Projecting signs on two-story buildings shall be positioned between the 2nd story windows and the top of the parapet

Figure 49: Building Signage (continue)



Classical

Figure 50: Ground Signs



Mediterranean

Florida Vernacular

Classical

Figure 51: Directional/Information Kiosk Signs



or roofline. Projecting signs shall be prohibited above the second story.

- Sign height shall not exceed 1-1/2 times the width of the sign.
- Interior illuminated projecting signs are prohibited.

F. Wall Sign Lighting

- Cutoff fixtures shall be angled toward the face of the wall sign and shall complement the design of the building through style, material and color.
- The lighting shall comply with the City's Lighting Ordinance.

3.5.2 **Site Signage**

Site signage shall be uncluttered and unified, and at a pedestrian scale. The locations shall comply with the City's Sign Code, Lighting Ordinance and shall be consistent with the architectural style of the building.

A. Ground Signs (see Figure 50)

- Monument signs shall not exceed 8 feet high above the ground.
- Shopping center signs shall not exceed 15 feet high above ground.
- Up-lights shall be provided at the base of the ground sign and angled toward the face of the sign.
- Up-lights shall be screened by groundcovers.
- Up-lights shall not produce spill light or glare.

B. Directional Signs/Information Kiosks (see Figure 51)

- Provide location maps, direction signs, general information and special notices to add liveliness of the development.
- Directional signs and kiosks shall be designed to match the site architecture and be integrated into the layout of pedestrian circulation areas.

C. Menu Board Signs (see Figure 52 on page 26)

- One menu board shall be allowed per street address.
- Menu boards shall not exceed 9 square feet in size and shall be positioned so as to be adjacent to the restaurant or business listed on the board and information on the board shall advertise exclusively the goods and services of the business and be placed in a manner which is clearly visible to pedestrian traffic.
- Said menu boards shall not be placed in the City's right-of-way.
- All signs shall be removed at the end of each business day.
- All signs shall be securely anchored to the ground or wall.

Figure 52: Menu Board Signs



4.0 DESIGN REVIEW

The Public and Private Urban Design Standards shall apply to citywide development including, but not limited to the following.

- New construction of public buildings, shopping centers, multi-tenant commercial centers, big box retail, mixed use commercial, office centers, light industrial/flex space complexes, individual stores or freestanding buildings and multi-family residential.
- The relocation of existing buildings.
- Substantial improvements to existing buildings that exceeds 50% of the current value of the existing structure(s), or 20% of the square footage of the existing structure(s).
- Exterior changes including new signage, awnings, windows, paint, etc.
- Any site modifications.

The Design Review Committee (DRC) is responsible for the administration of the Public and Private Urban Design Standards. Development compliance will be determined by the DRC during the site plan review process (see Figure 53 and footnotes).

Existing developments that do not comply with the requirements of the design standards shall not be required to be brought into full compliance at the time the design standards are adopted. Any improvement proposed to an existing development, however, will be required to comply with the applicable provisions of the design standards related to the improvements.

The City Manager may include a design professional, such as an Architect, Urban Designer or Landscape Architect, as a member of the DRC. If a design professional is not available, the City Manager may contract out a design firm with the above-noted disciplines, as required, to be an extension of staff to review compliance of the Urban Design Public and Private Design Standards.

Figure 53: DRC Review Process



Footnotes:

- 1 Pre-application conference is not required, however, it is highly recommended.
 - 2 Artistic renderings are optional
 - 3 Artistic rendering of the building is required at Final Site Plan submittal.
 - 4 100% Architectural Elevations with color samples and materials list shall be reviewed and approved prior to the issuance of a Development Order.
- * Final Site Plans require public hearing at Planning and Zoning Board if the project is proposing building a greater than 5,000 square feet GFA.

